

William “Dub” Pearman, III
Mayor

Harold Simmons
City Manager



MEMO

TO: Mayor and Council
FROM: Curtis Hindman, Interim Community Development Director
DATE: April 24, 2023
RE: 8190 Wells Street – Waffle House
Construction Plans and Building Elevations – Hwy 85/Hwy 16 Overlay District
Current Zoning – GC

Planning Commission recommended approval of construction plans with the addition of items the applicant agreed to add including: benches/tables in open space, to install golf cart parking in the future when required by City, to record an easement for public access along the sidewalk, and to ensure the brick banding and color on monument sign and dumpster enclosure match the primary structure.

Administrator's Report

The construction plans and elevations for the proposed Waffle House located at 8190 Wells Street have been reviewed by staff and found to meet the requirements for the Hwy 85/Hwy 16 Corridor Overlay District.

The City previously granted variances to allow all the parking to be located in front of the building with the storm water management facility behind the building in order to save a stand of existing 12-inch and larger trees. During development of the construction plans it was discovered that the sidewalk along Chestlehurst Road would not be feasible and would create a safety hazard with the existing typical section and drainage of the road. As a mitigating solution to this issue, the applicant has proposed an alternate pedestrian connection to the building through the adjacent Bank of the Ozarks tract providing a pedestrian connection to Hwy 16.

Applicant has agreed to add benches/tables in the greenspace, use standard brick sizes, add different heights to the parapet to comply downtown architectural styles, ensure the dumpster enclosure and monument sign match the primary structure brick color and banding and record a public access easement for the sidewalk.

The next step following approval will be building permit and land disturbance permit approval and issuance.

WAFFLE HOUSE

SENOIA, GA
8190 WELLS STREET,
SENOIA, GA 30276

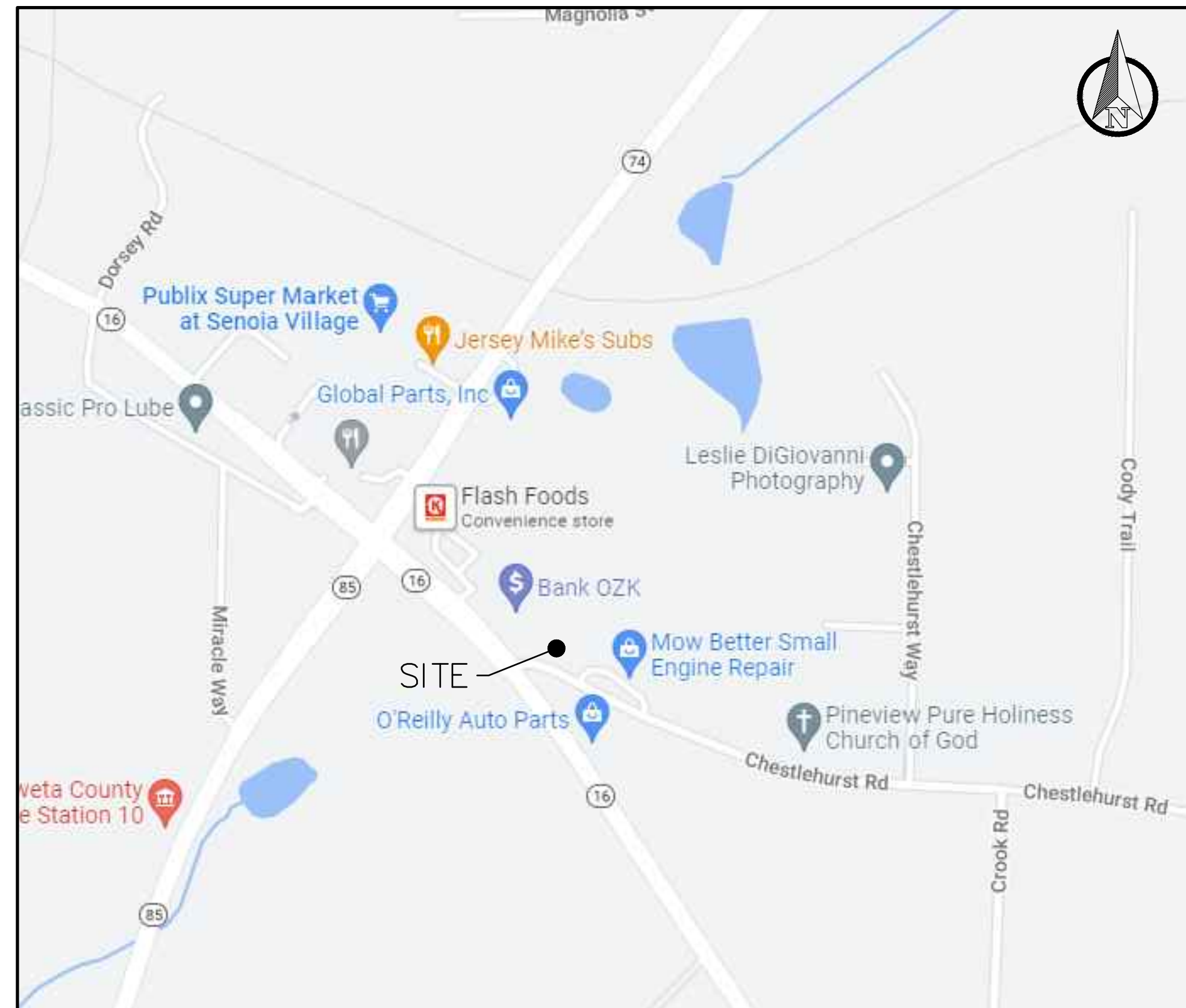
APPROVAL OF PLANS SHALL BE EFFECTIVE FOR A PERIOD OF ONE YEAR AND THEREAFTER EXPIRE AND BE NULL AND VOID UNLESS A TIME EXTENSION IS APPROVED PRIOR TO EXPIRATION.



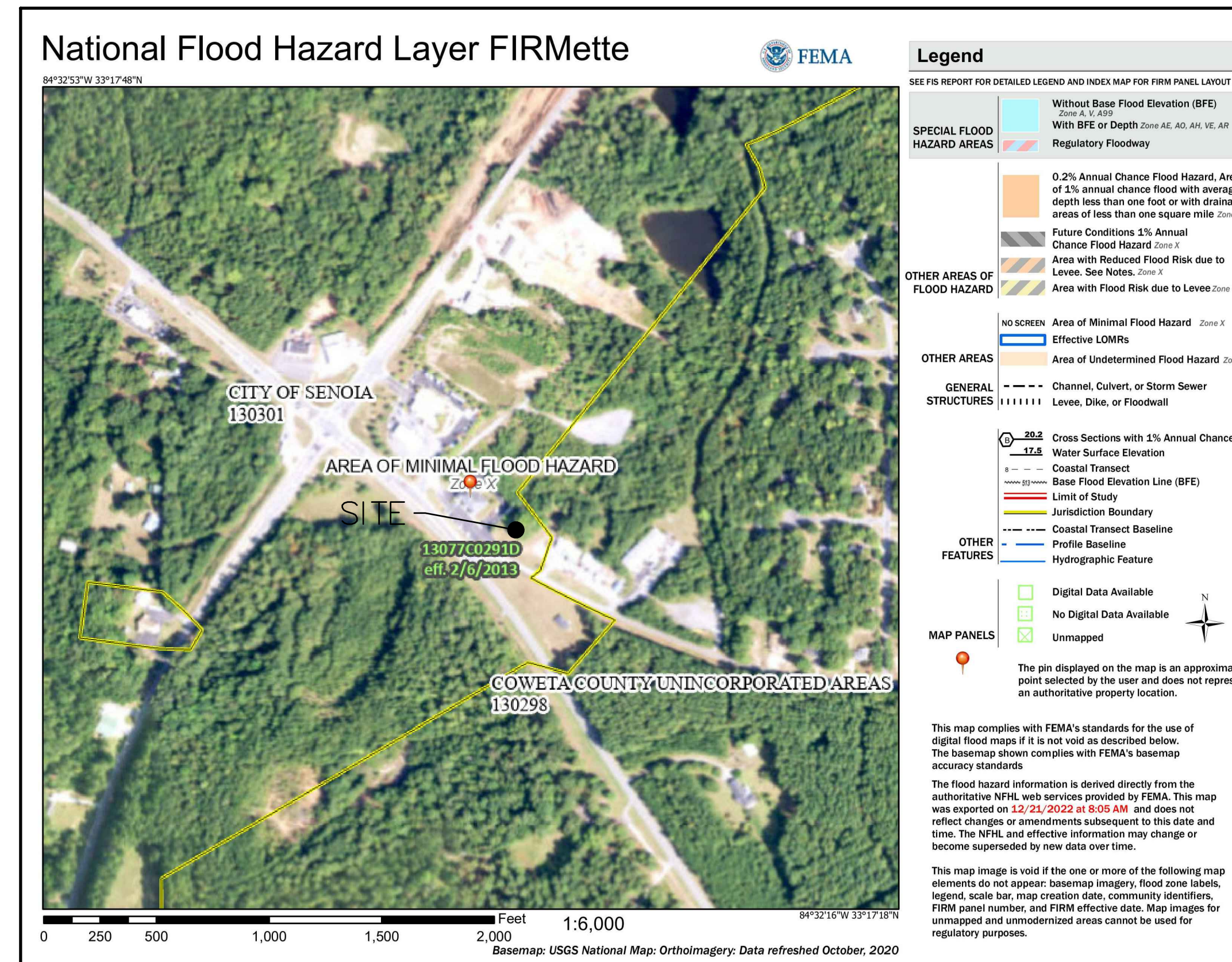
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VICINITY MAP
N.T.S.



FEMA MAP
N.T.S.

SITE NOTES:

- COMPLETION OF ALL WORK SHALL BE IN ACCORDANCE THESE PLANS, SPECIFICATIONS, AS WELL AS, WITH FEDERAL, STATE AND LOCAL REGULATIONS. DEVIATION FROM THESE MAY CAUSE THE PROJECT TO BE UNACCEPTABLE.
- PROJECT TO BE DELIVERED IN ACCORDANCE WITH AMERICANS WITH DISABILITY ACT (ADA) PER FEDERAL, STATE AND LOCAL REGULATIONS.
- PROJECT TO BE DELIVERED IN ACCORDANCE WITH THE UNIFORM TRAFFIC CONTROL MANUAL (MUTCD), ASHTO, AS WELL AS STATE AND LOCAL REGULATIONS.
- ARCHITECTURAL PLANS ARE TO GOVERN IN THE AREA WITHIN 5' OF THE BUILDING ENVELOPE. THIS IS TO INCLUDE, BUT NOT LIMITED, TO STEPS, STAIRS, SIDEWALKS, RAMPS, HANDRAILS, ETC. SITE CONTRACTOR IS RESPONSIBLE FOR ALL WORK OUTSIDE OF THIS ENVELOPE.
- THE FACE OF CURB AND OUTSIDE FACE OF BUILDING SHALL BE THE DIMENSIONAL REFERENCE FOR ALL SITE MEASUREMENTS AND RADII, UNLESS OTHERWISE NOTED. ALL RADII SHALL BE ASSUMED TO BE 5'; WHERE NO DIMENSION IS GIVEN.
- CURB AND GUTTER SHALL BE "8" IN SIZE UNLESS SPECIFIED OTHERWISE.
- EXISTING AND REMAINING FACILITIES, WHETHER ON THE PROPERTY OR ON ADJACENT PROPERTIES, SHALL BE MAINTAINED IN THEIR ORIGINAL CONDITIONS. IF DISTURBED, THESE STRUCTURES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.
- CONTRACTOR IS RESPONSIBLE TO PROVIDING ALL AS-BUILTS AND OTHER CERTIFICATIONS IN ORDER TO CAUSE THE ACCEPTANCE OF THE PROJECT BY THE CLIENT AND RELEASE OF A CERTIFICATE OF OCCUPANCY.
- CONTRACTOR TO VERIFY THE EXISTING CONDITIONS ON WHICH THE PROJECT DESIGNS (ALL PHASES) ARE BASED AND BECOME FAMILIAR WITH ALL NECESSARY INFORMATION, WHETHER ON THE SUBJECT TRACT OR ADJACENT PROPERTIES. IF UNKNOWN CONDITIONS ARE DISCOVERED WHICH JEOPARDIZES THE SCOPE AND DELIVERY OF THE PROJECT, THE CONTRACTOR IS TO PROVIDE IMMEDIATE WRITTEN NOTIFICATION TO THE ENGINEER.
- THE CONTRACTOR SHALL DELIVER THE CURB AND GUTTER AT A 28-DAY COMPRESSIVE STRENGTH OF 3,000 PSI.
- THE CONTRACTOR SHALL DELIVER THE PARKING LOT PAINTING AND STRIPING WITH A MINIMUM OF TWO COATS OF PAINT PER PROJECT SPECIFICATIONS.
- ALL EASEMENTS REQUIRED TO COMPLETE THE WORK, BUT NOT PROVIDED BY THE CLIENT, ARE THE RESPONSIBILITY OF THE CONTRACTOR.

GENERAL NOTES:

- CONTRACTOR'S RESPONSIBILITY TO INCLUDE, BUT NOT LIMITED TO:
- CAUSE THE WORK TO BE COMPLETED PER FEDERAL, STATE AND LOCAL CODES DURING ALL PHASES OF THE PROJECT.
 - VERIFY THE EXISTING CONDITIONS ON WHICH THE PROJECT DESIGNS (ALL PHASES) ARE BASED AND BECOME FAMILIAR WITH ALL NECESSARY INFORMATION, WHETHER ON THE SUBJECT TRACT OR ADJACENT PROPERTIES. IF UNKNOWN CONDITIONS ARE DISCOVERED WHICH JEOPARDIZES THE SCOPE AND DELIVERY OF THE PROJECT, THE CONTRACTOR IS TO PROVIDE IMMEDIATE WRITTEN NOTIFICATION TO THE ENGINEER.
 - COORDINATE WITH UTILITY PROVIDERS TO CONFIRM THE LOCATION OF EXISTING AND PROPOSED SERVICES WILL BE ADEQUATE FOR THE DEVELOPMENT. THE ENGINEER DOES NOT ACCEPT RESPONSIBILITY FOR THE ACCURACY OF THE EXISTING UTILITY LOCATIONS AND PROPOSED LOCATIONS ARE APPROXIMATE IN NATURE.
 - CONSTRUCTION LIMITS SHALL BE PROPERLY MARKED AND BARRIERS CREATED AS NECESSARY TO PROTECT CONSTRUCTION PERSONNEL AS WELL AS THE PUBLIC, OSHA AND ALL OTHER GOVERNING STANDARDS.
 - PROVISION OF ALL NECESSARY WORK IN ORDER TO CAUSE THE PROJECT TO BE COMPLETED WHETHER OR NOT THE WORK IS SPECIFICALLY DESCRIBED WITHIN THE PROJECT DESIGNS OR REQUIRED BY REGULATION IN THE COURSE OF WORK.
 - EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES DURING ALL PHASES OF THE PROJECT.
 - DEMOLITION RESPONSIBILITIES:
 - CONSTRUCTION DEBRIS AND REFUSE RESULTING FROM DEMOLITION SHALL BE REMOVED FROM THE CONSTRUCTION LOCATION UNDER MEANS THAT ADHERE TO FEDERAL, STATE AND LOCAL REGULATIONS. UNDER NO CIRCUMSTANCES SHALL REFUSE MANAGEMENT COMPROMISE THE DELIVERY SCHEDULE OR QUALITY OF THE PROJECT.
 - FEDERAL, STATE AND LOCAL REGULATIONS SHALL BE ADHERED TO AT ALL TIMES DURING DEMOLITION.
 - PRIOR TO DEMOLITION COMMENCEMENT, CONTACT LOCAL "CALL DIG" SERVICES.
 - PROPER SHORING AND BRACING SYSTEMS SHALL BE UTILIZED FOR ALL EXCAVATIONS AT ALL TIMES. COMPLETELY FILL ALL EXCAVATIONS AT THE END OF EACH DAY.
 - BURNING OF MATERIALS IS PROHIBITED EXCEPT BY PROPER PERMIT FROM GOVERNING AGENCY.
 - EXISTING AND REMAINING FACILITIES, WHETHER ON THE PROPERTY OR ON ADJACENT PROPERTIES, SHALL BE MAINTAINED IN THEIR ORIGINAL CONDITIONS. IF DISTURBED, THESE STRUCTURES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.
 - EROSION CONTROL MEASURES DURING DEMOLITION PHASE SHALL BE MAINTAINED AT ALL TIMES DURING ALL PHASES OF THE PROJECT, PER FEDERAL, STATE AND LOCAL CODES. NO EARTHMOVING OR DISTURBANCE SHALL BE CAUSED TO HAPPEN UNTIL ALL APPROPRIATE MEASURES HAVE BEEN PUT INTO PLACE.

24-HOUR EMERGENCY CONTACT:

DAVID MITCHELL
CELL: (878) 873-6842
EMAIL: DAVIDMITCHELL@WAFFLEHOUSE.COM

OWNER / DEVELOPER

NAME: WAFFLE HOUSE
ADDRESS: 5986 FINANCIAL DRIVE, NORCROSS, GA 30071
PHONE: 770-729-5700
CONTACT: SANFORD MCALLISTER
EMAIL: SANFORDMCALLISTER@WAFFLEHOUSE.COM

ENGINEER

NAME: CONTINEO GROUP, LLC
ADDRESS: 755 COMMERCE DRIVE, SUITE 800, DECATUR, GA 30030
JUAN DEL RIO
PHONE: 404-399-5192
EMAIL: JUAND@CONTINEOGROUP.COM

PROJECT NARRATIVE:
THE PROPOSED DEVELOPMENT CONSISTS IN THE CONSTRUCTION OF A NEW WAFFLE HOUSE BUILDING WITH PARKING AREAS AND ASSOCIATED UTILITIES TO SERVE THE RESTAURANT.

SITE SUMMARY

ZONING DISTRICT	GC(COMMERCIAL CORRIDOR OVERLAY)
JURISDICTION	CITY OF SENOIA
PROPOSED USE	RESTAURANT
PROPOSED LOT AREA	0.66 AC (28,788 SF)
PROPOSED DISTURBED AREA	0.66 AC (28,940 SF)
PROPOSED IMPERVIOUS AREA	0.28 AC (12,197 SF)
PROPOSED BUILDING	2000 SF
FRONT YARD SETBACK	11'(PER APPROVED VARIANCE)
SIDE YARD SETBACK	15'
REAR YARD SETBACK	15'
PARKING STALL DIMENSIONS	9'x18'
PROPOSED PARKING SPACES	27
PARKING REQUIREMENT:	
1 SPACE PER 75 SF OF GROSS FLOOR AREA.	
2,000 SF / 75 = 27 SPACES MINIMUM	

SHEET INDEX

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P-1	PHOTOMETRIC PLAN (BY OTHERS)
S1	SURVEY (BY OTHERS)

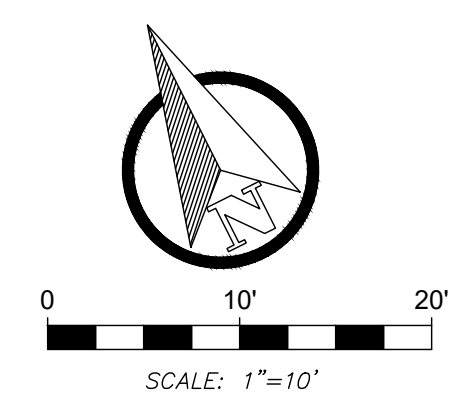
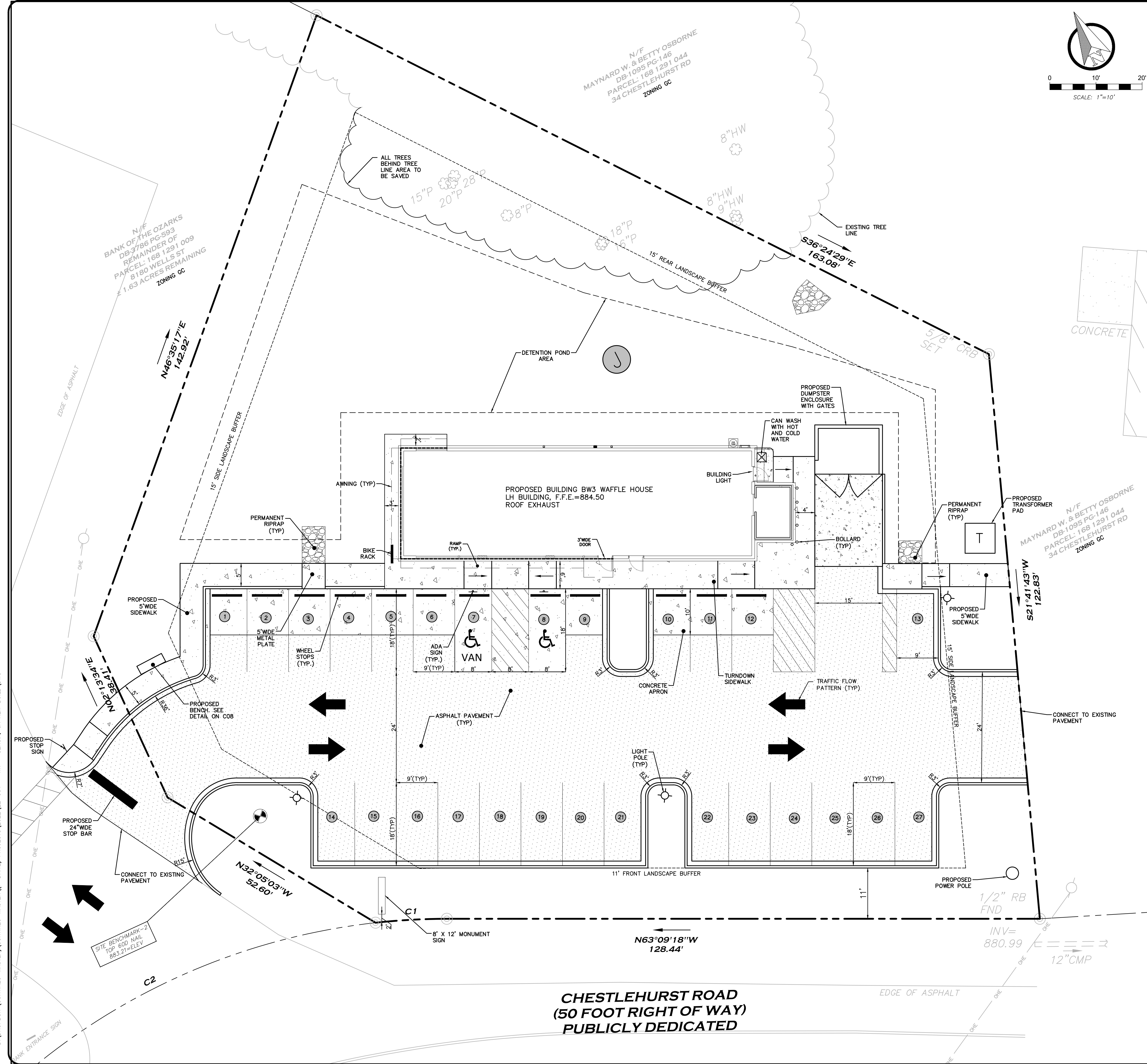
WAFFLE HOUSE
SENOIA, GA
ISSUED FOR: PERMIT
JURISDICTION: CITY OF SENOIA
LOCATION: 8190 WELLS STREET, SENOIA, GA 30276

#	DATE	REVISIONS
1	02.28.23	CITY COMMENTS
2	03.28.23	CITY COMMENTS
3	04.21.23	BENCH ADDED

DRAWN: JPRD
CHECK: BHR
JOB NO: 22-331
DATE: 01/12/23

COVER
SHEET **C01**

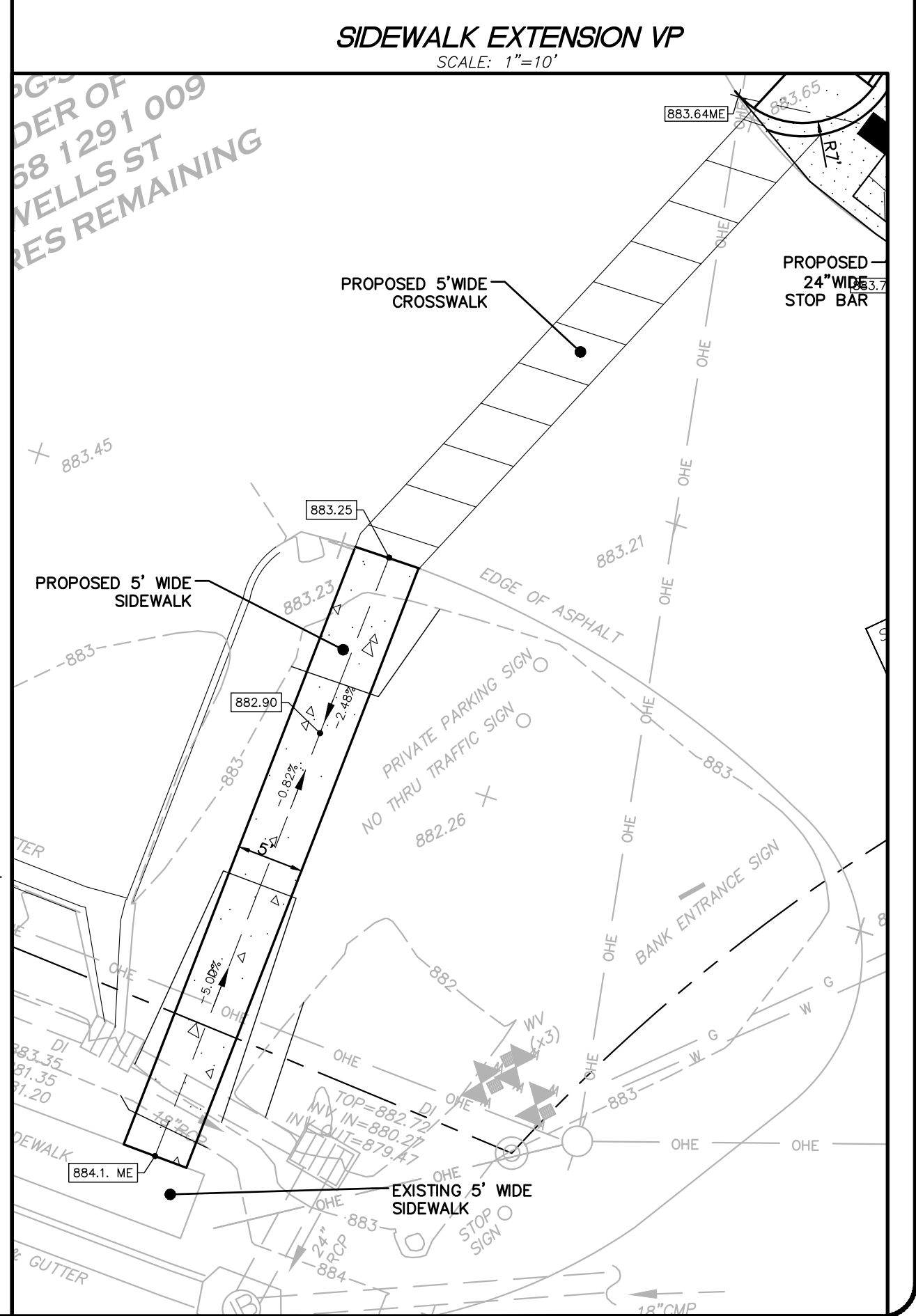
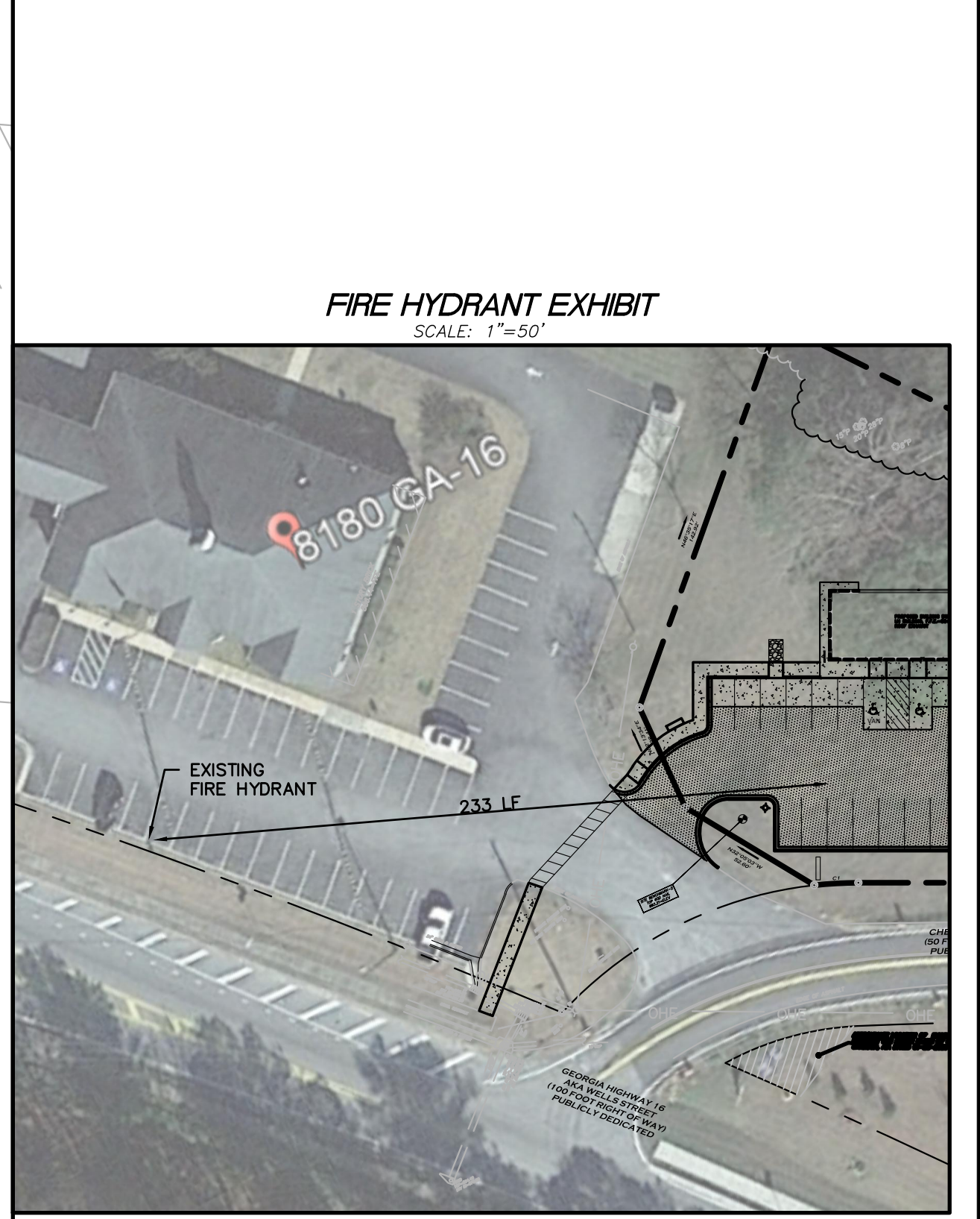
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LEGEND

- PROPERTY LINE
- EASEMENT LINE
- SETBACK LINE
- 6\"/>

PROPOSED DEVELOPMENT SIGNAGE IS SHOWN FOR REFERENCE ONLY. A SEPARATE PERMIT SHALL BE REQUIRED FOR ALL SIGNAGE EXCEPT REGULATORY STREET SIGNAGE.



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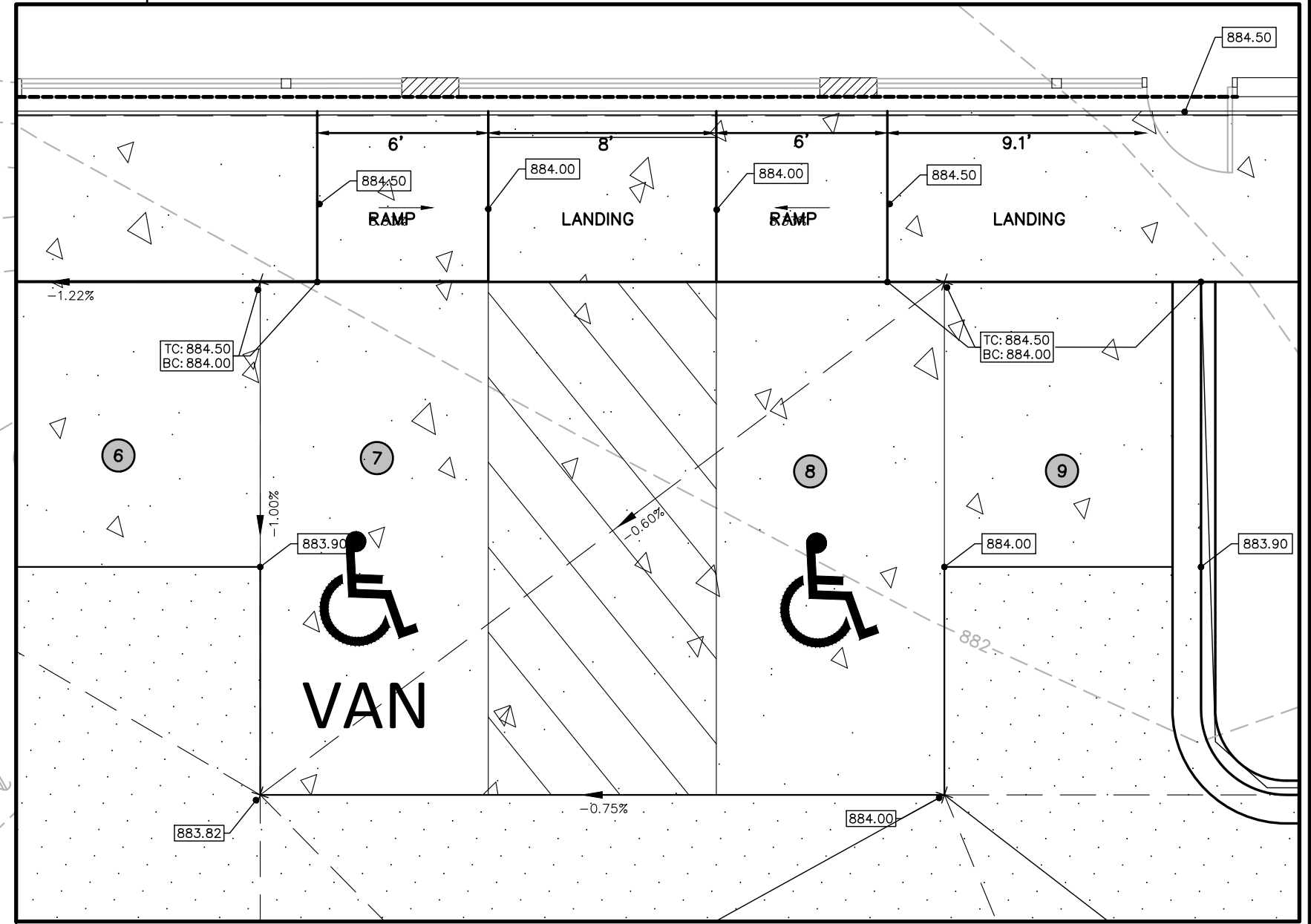
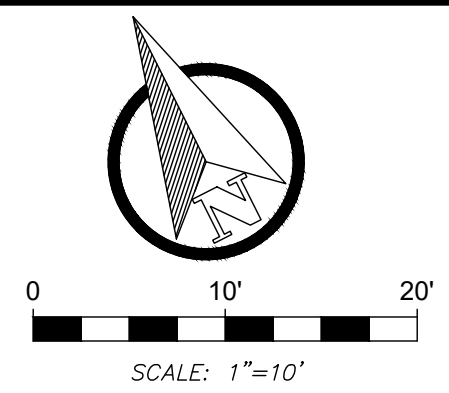
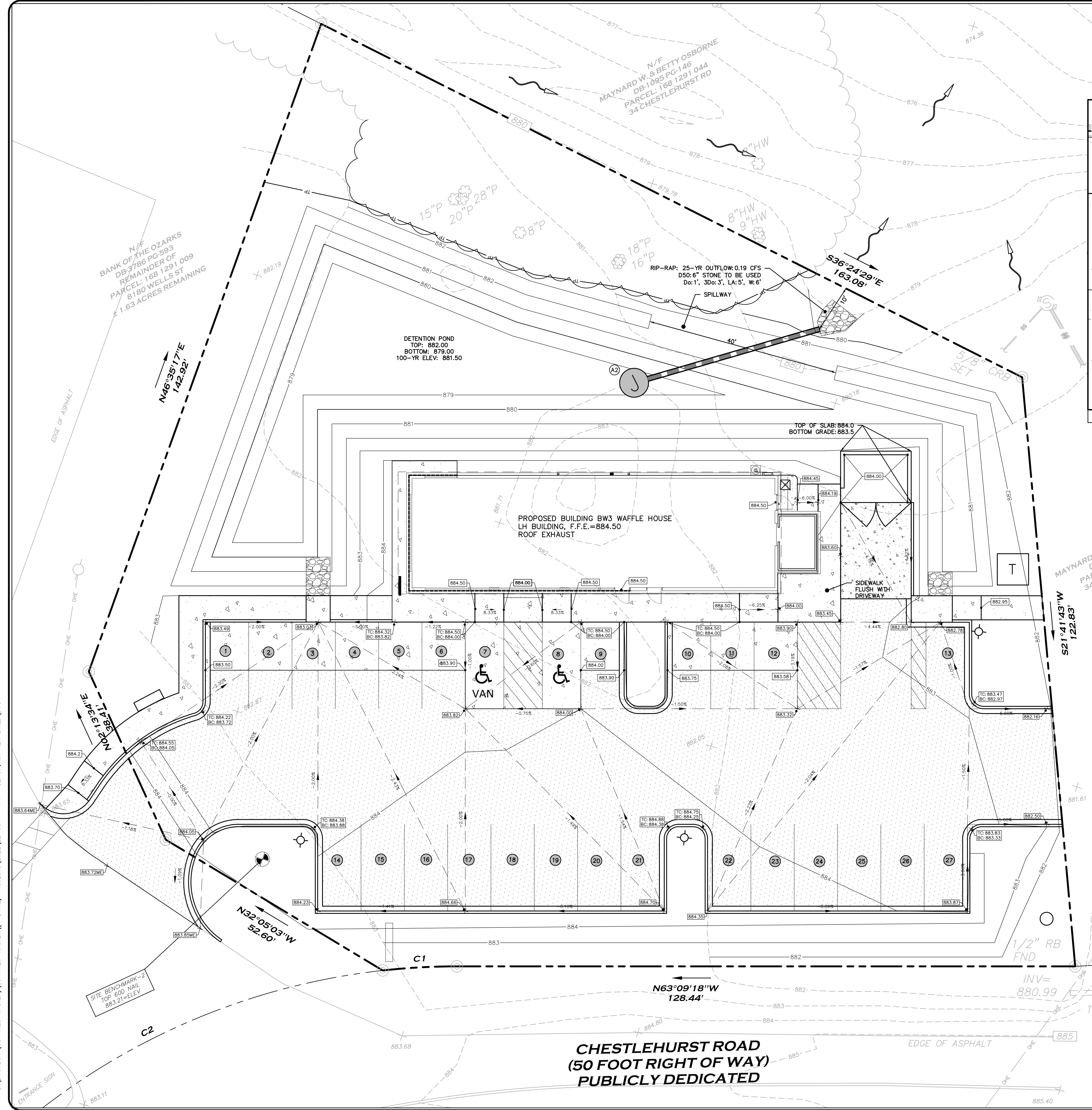
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These drawings were prepared by the undersigned professional engineer in accordance with the provisions of the Georgia Code. The engineer is not responsible for any errors or omissions in these drawings, whether or not they are caused by the contractor's negligence. The engineer's responsibility is limited to the design and construction of the project as shown on these drawings. The engineer is not responsible for any other work not shown on these drawings.

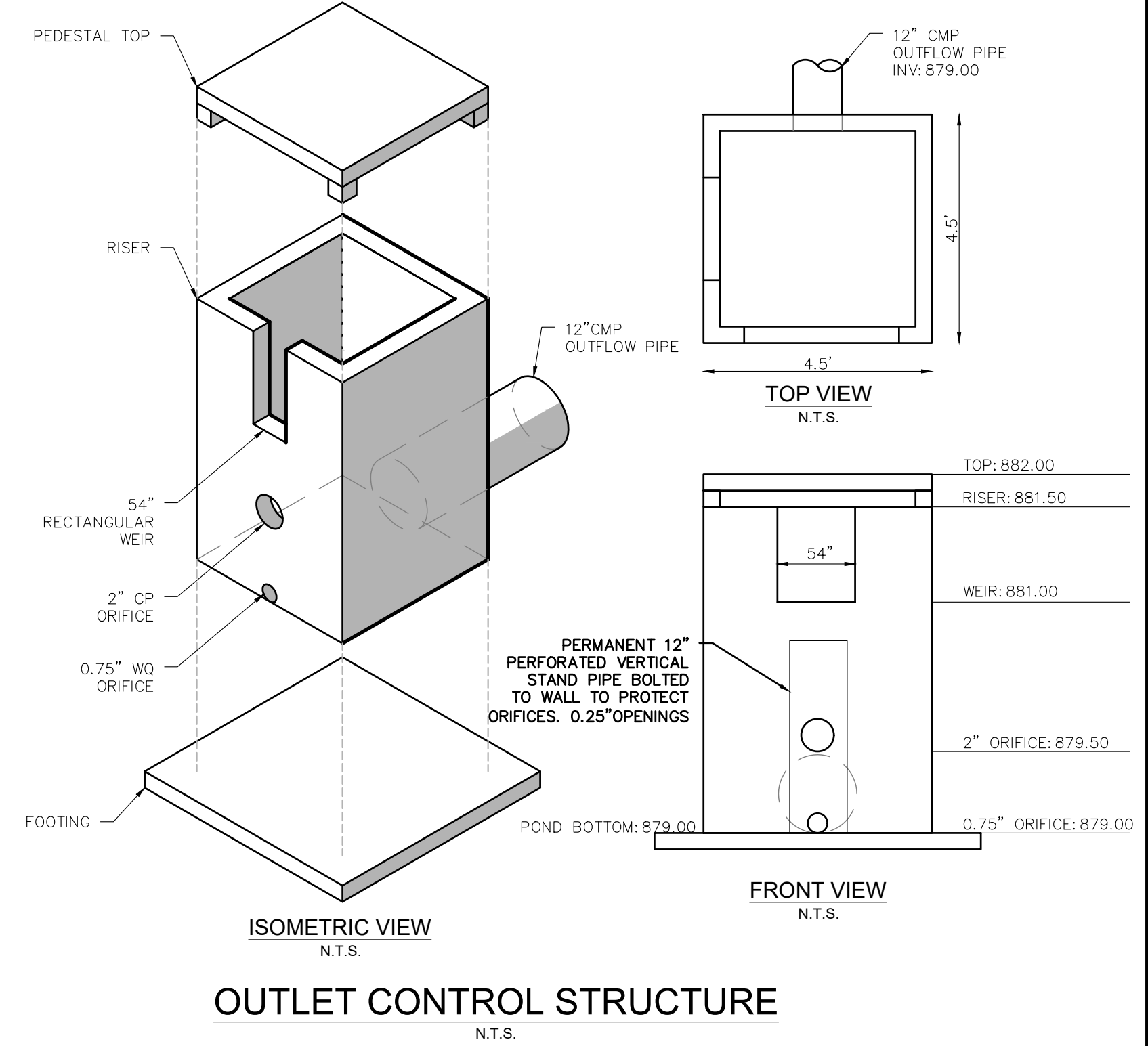
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SITE PLAN
SHEET **C02**

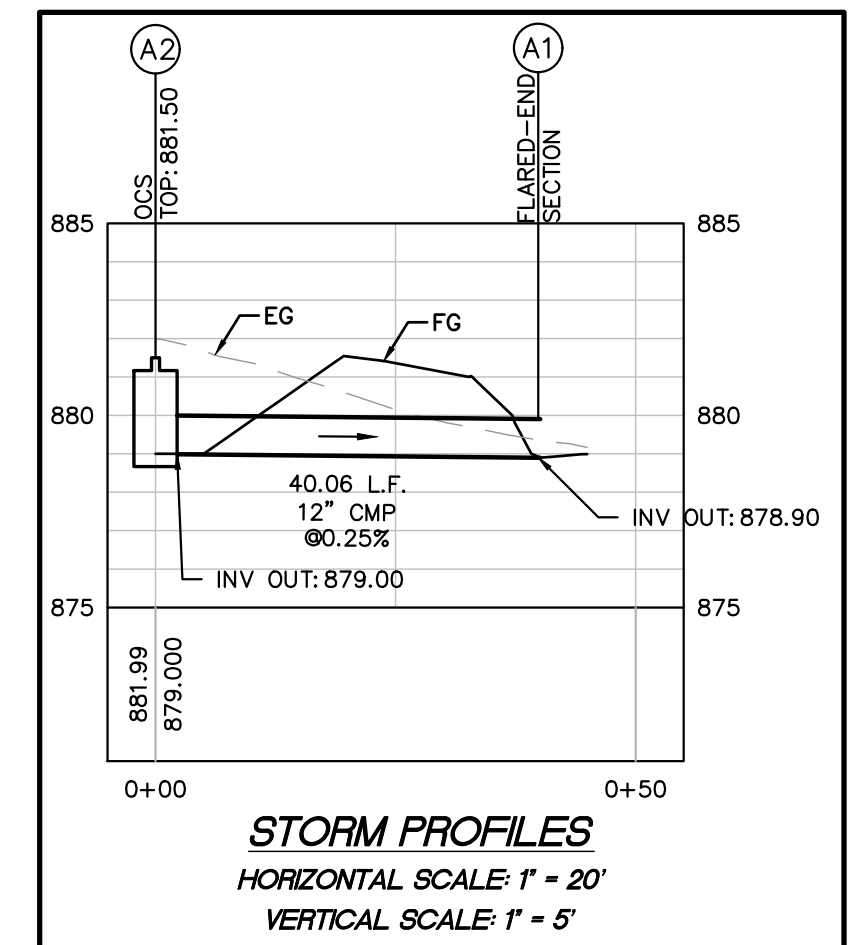
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ADA INSERT
SCALE: 1" = 5'



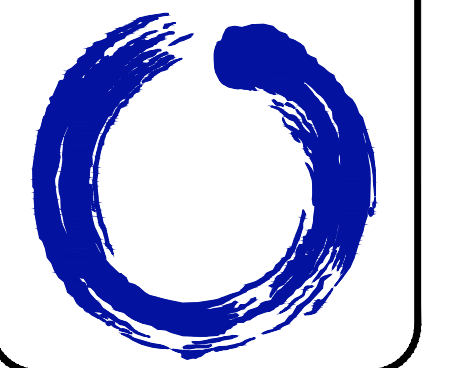
OUTLET CONTROL STRUCTURE
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STORM PROFILES
HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 5'



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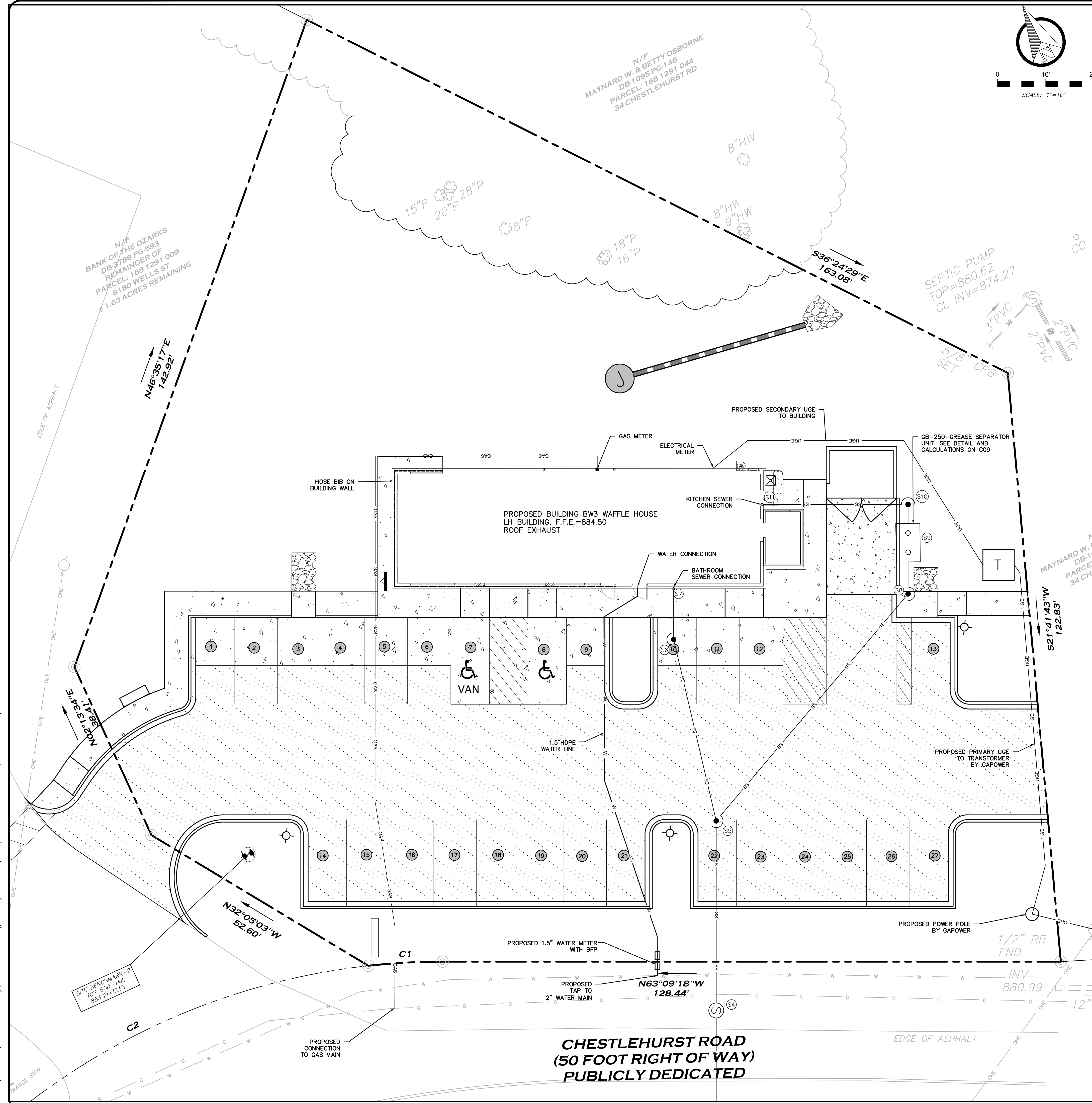
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SENOIA, GA 30276

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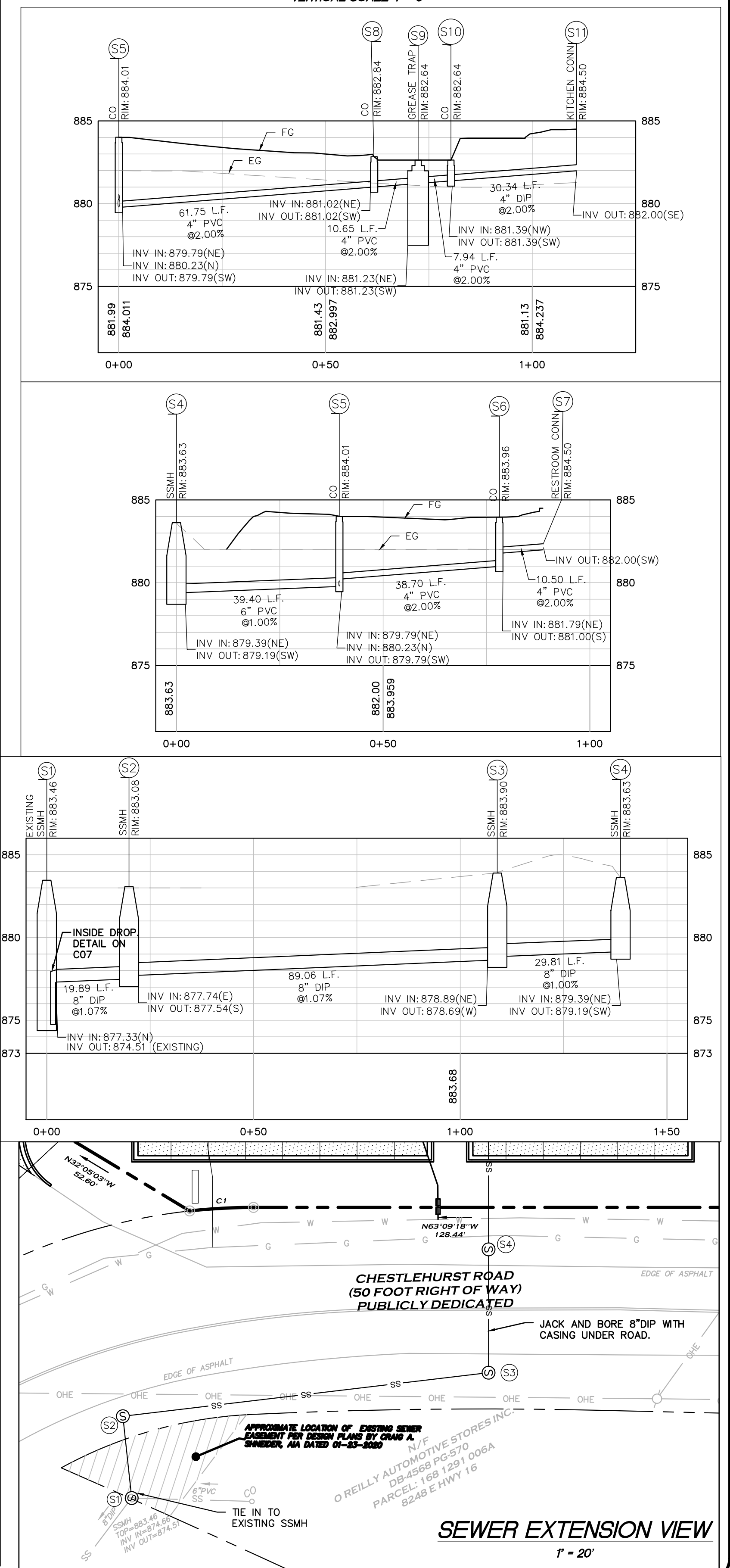
GRADING PLAN
SHEET
C03

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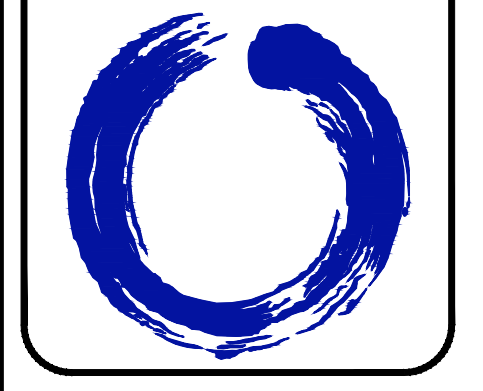


- UTILITY NOTES:**
1. PRIOR TO WORK COMMENCEMENT, CONTRACTOR IS TO CONTACT LOCAL "CALL DIG" SERVICES FOR LOCATION OF ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL COORDINATE WITH ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK, WHICH INCLUDES, BUT NOT LIMITED TO, RELOCATION OF UTILITIES ALONG ROADWAYS AND OFFSITE IMPROVEMENTS IN ORDER TO DELIVER THE PROJECT.
 2. ALL UTILITY WORK SHALL BE IN ACCORDANCE WITH GOVERNING LOCAL STANDARDS, LATEST EDITION.
 3. CONTRACTOR SHALL UTILIZE SCHEDULE 40 PVC OR DUCTILE IRON PIPE FOR ALL SEWER SYSTEMS.
 4. CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING ANY FINAL AS-BUILTS AND EASEMENT PLATS.
 5. CONTRACTOR TO DELIVER ALL WATER AND SEWER SYSTEMS WITH A MINIMUM OF 10' HORIZONTAL AND 2' VERTICAL SEPARATIONS.
 6. BUILDING CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL ELECTRICAL SERVICES TO THE BUILDING, WHICH INCLUDE, BUT NOT LIMITED TO, TRANSFORMERS, TRANSFORMER PADS, METERS, ETC...
 7. CONTRACTOR SHALL COMPARE ALL CIVIL AND BUILDING PLAN SETS PRIOR TO CONSTRUCTION. THE ENGINEER AND ARCHITECT SHALL BE NOTIFIED OF ANY UTILITY DISCREPANCIES.

SEWER PROFILES
HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 5'



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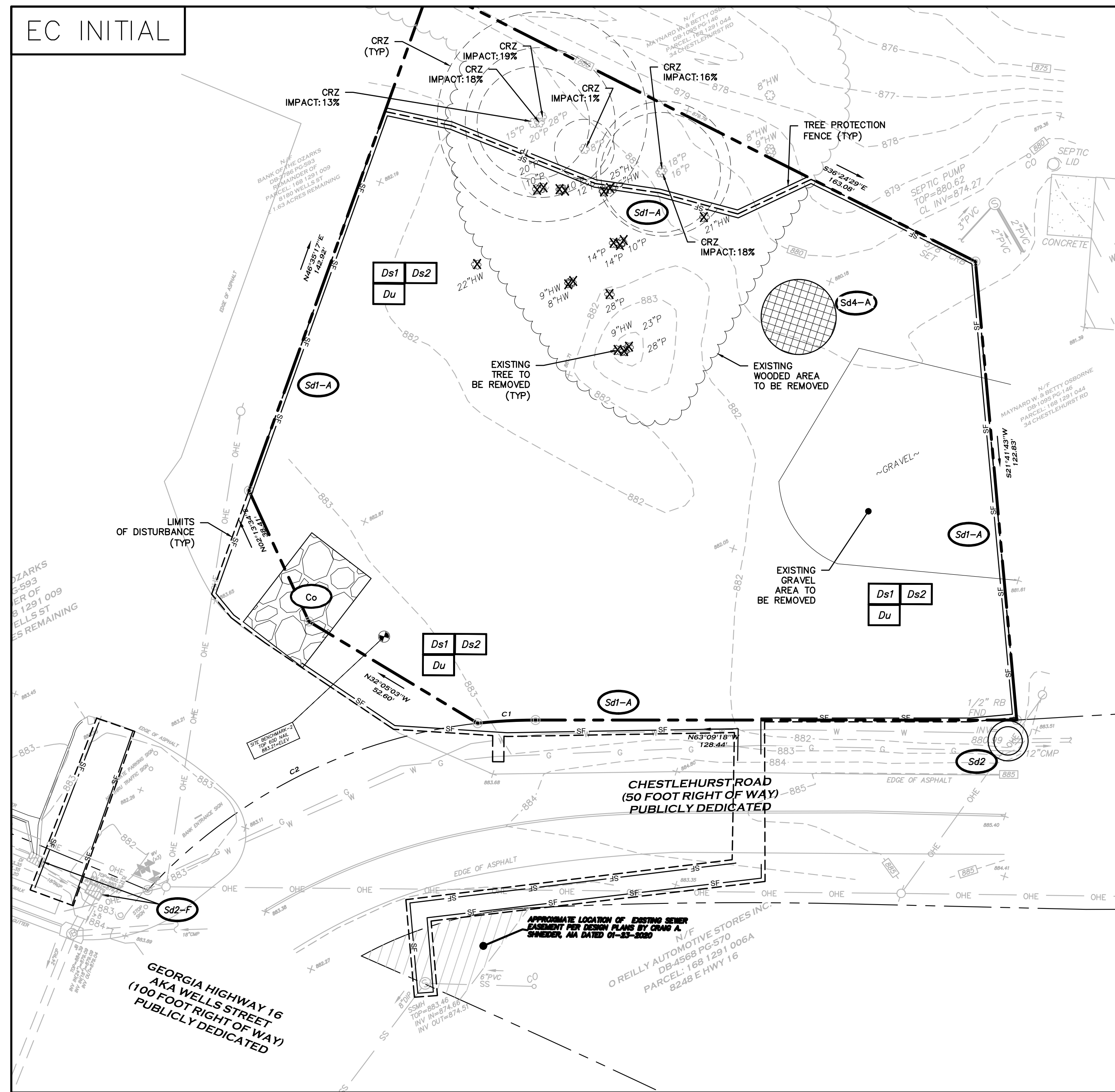
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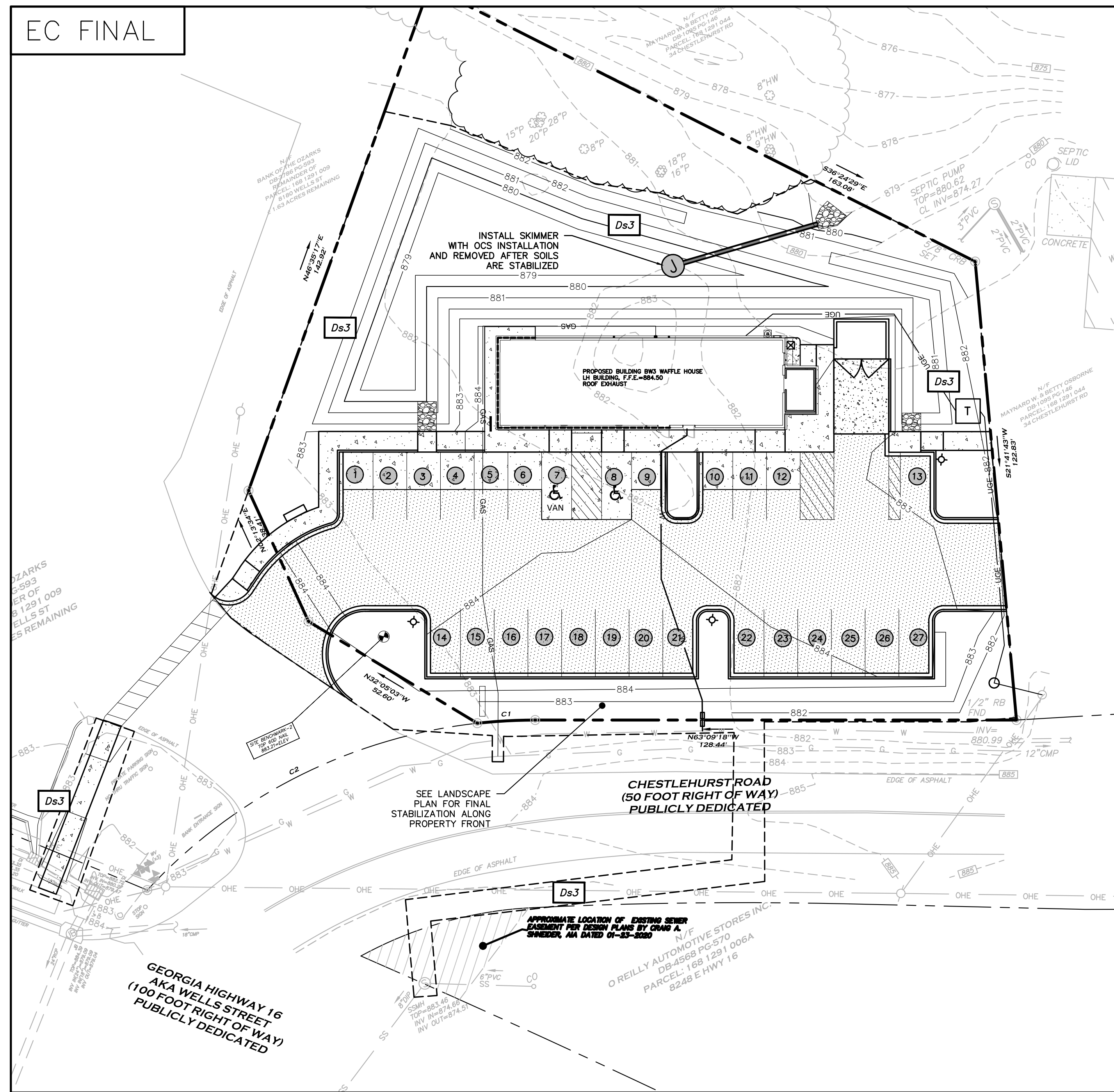
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UTILITY PLAN
SHEET **C04**

EC INITIAL



EC FINAL



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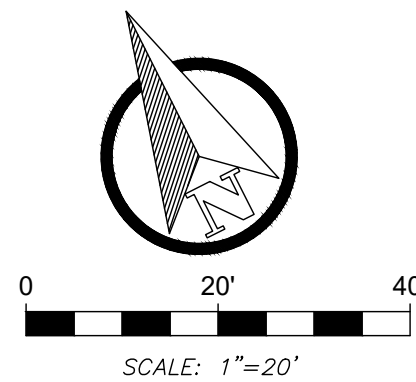
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EROSION CONTROL PLAN

SHEET C05

THERE ARE NO WETLANDS OR STATE WATER LOCATED WITHIN 200 FT FROM THIS PROJECT SITE.
THERE ARE NO APPLICABLE 25' OR 50' UNDISTURBED BUFFERS LOCATED WITHIN THIS PROJECT SITE.
APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL BY THE LOCAL JURISDICTION OF ANY LAND DISTURBING ACTIVITIES WITHIN WETLAND AREAS. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONTACT THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY WETLAND DISTURBANCE.
THERE ARE NO BUFFERS OR TREE SAVE AREAS WITH IN THE LIMITS OF DISTURBANCE.
CONTRACTOR IS RESPONSIBLE FOR PROVIDING EROSION CONTROL MEASURES AS NECESSARY TO AVOID ESCAPE OF SEDIMENTS FROM THE SITE. ALL SOILS MUST BE STABILIZED PRIOR TO COMPLETION OF WORK.
NON-EROSIVE FLOWS WILL BE PROVIDED FOR LEAVING THE SITE.



24-HOUR EMERGENCY CONTACT:
DAVID MITCHELL (678) 873-6842

GPS LOCATION (DECIMAL DEGREES)
LATITUDE: 33.292083,
LONGITUDE: -84.542601

SITE CALCULATIONS
TOTAL SITE AREA = 0.66 AC
TOTAL DISTURBED AREA = 0.66 AC

SD4-A TEMPORARY SEDIMENT TRAP

WHERE THE EXCAVATED SEDIMENT TRAP IS USED, SHOW THE FOLLOWING INFORMATION:

1. DRAINAGE AREA	=	0.62 AC	
2. REQUIRED SEDIMENT STORAGE	=	67 CY/AC	
REQUIRED SEDIMENT STORAGE	=	67 CY/AC	X 0.6200 AC
REQUIRED SEDIMENT STORAGE	=	41.5400 CY	= 1121.5800 CF
3. ASSUME EXCAVATION DEPTH (MINIMUM OF 1.5 FT)	=		4 FT
4. ASSUME SLOPE OF SIDES (NO STEEPER THAN 2:1)	=		3:1
5. DETERMINE REQUIRED SURFACE AREA			
S _{min} = REQUIRED SEDIMENT STORAGE/EXCAVATION DEPTH			
S _{min} =	41.5400 CY	/	3 FT
S _{min} =	280.3950 SF		
6. ASSUME SHAPE OF EXCAVATION AND DETERMINE DIMENSIONS. (A RECTANGULAR SHAPE WITH 2:1 LENGTH TO WIDTH RATIO IS RECOMMENDED)			
SHAPE: CIRCULAR			
DIMENSIONS: L=N/A W=N/A			DIAMETER = 20 FT
PROVIDED=	1205.7200 CF		44.6563 CY

PROVIDE A DETAIL SHOWING THE DEPTH, LENGTH, AND WIDTH, OR DIAMETER (IF APPLICABLE), AND SIDE SLOPES OF THE EXCAVATION.

DEMOLITION NOTES:

- ALL MATERIALS FROM DEMOLITION SHALL BE REMOVED FROM THE SITE BY THE GENERAL CONTRACTOR OR SUBCONTRACTOR UNLESS APPROVED FOR REUSE ON SITE BY THE STRUCTURAL, GEOTECHNICAL ENGINEERS AND GOVERNING AGENCIES.
- REMOVAL OF THE EXISTING STRUCTURES SHALL BE AS REQUIRED FOR THE PROJECT. THE MATERIALS REMOVED FROM THE SITE SHALL BE DISPOSED OF IN A PROPER AND LEGAL MANNER PER FEDERAL, STATE, AND OR LOCAL LAWS AND ORDINANCES.
- IF ANY HAZARDOUS MATERIALS ARE ENCOUNTERED, THE OWNER SHALL BE NOTIFIED. THOSE MATERIALS SHALL BE REMOVED AND DISPOSED OF IN A MANNER AS APPROVED BY ALL GOVERNING AGENCIES AND IN A LANDFILL OR DISPOSAL FACILITY LICENSED TO ACCEPT HAZARDOUS MATERIAL.
- PREDEMOLITION PHOTOGRAPHS SHALL BE TAKEN BY THE CONTRACTOR FOR OWNER, SHOWING EXISTING CONDITIONS OF THE SITE AND ADJOINING BUILDINGS TO REMAIN. PHOTOS SHALL INCLUDE DAMAGE TO FINISH SURFACES THAT MIGHT BE MISCONSTRUED AS DAMAGE CAUSED BY DEMOLITION OPERATIONS.
- EXISTING STRUCTURES TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR. ANY DAMAGE INCURRED DURING THE CONSTRUCTION SHALL BE RESTORED, RECONSTRUCTED OR REPLACED TO AT LEAST THEIR ORIGINAL CONDITION OR AS REQUIRED OR DICTATED BY FEDERAL, STATE, COUNTY, CITY OR LOCAL GOVERNING AGENCIES.
- IT IS THE RESPONSIBILITY OF CONTRACTOR TO INSPECT EACH DAY AND REMOVE ALL MUD, DIRT, GRAVEL AND LOOSE MATERIALS DUMPED FROM THIS SITE ONTO OTHER PROPERTIES. THE CONTRACTOR MUST CLEAN OR PICK UP DAILY, IF NECESSARY, THE CONTRACTOR SHALL TRY TO REDUCE AIRBORNE DUST THROUGH OUT THE ENTIRE JOB. THIS MAY BE DONE BY WATERING DOWN AREAS AFFECTED BY THIS WORK.
- THE CONTRACTOR SHALL MAINTAIN EROSION CONTROL DEVICES AS REQUIRED DURING DEMOLITION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER AND ALL UTILITY COMPANIES AND DEPARTMENTS 72 HOURS, OR AS REQUIRED, BEFORE DEMOLITION IS TO START. TO VERIFY ANY UTILITIES THAT MAY BE PRESENT ON SITE. ALL VERIFICATIONS, LOCATIONS, SIZE AND DEPTHS SHALL BE MADE BY THE APPROPRIATE UTILITY COMPANIES OR DEPARTMENTS. WHEN EXCAVATING AROUND OR OVER UTILITIES, THE CONTRACTOR MUST NOTIFY THE UTILITY COMPANY SO A REPRESENTATIVE OF THE UTILITY MAY BE PRESENT DURING THE EXCAVATION TO INSTRUCT AND OBSERVE. DURING THE PROCESS, VERIFY THAT UTILITIES HAVE BEEN DISCONNECTED AND CAPPED BEFORE STARTING DEMOLITION OPERATIONS. NO TRENCHES SHALL BE LEFT OPEN OVERNIGHT.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN AND PAY ALL FEDERAL, STATE, COUNTY, CITY AND LOCAL PERMITS FOR ANY AND ALL WORK REQUIRED UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL MAKE AN EFFORT TO SALVAGE ANY VEGETATION OR OTHER LANDSCAPING MATERIALS WHEN AND WHERE POSSIBLE. NOTIFY LANDSCAPE ARCHITECT AND OWNER OF RELOCATION AREA TO PREVENT ANY FUTURE ISSUES.
- ALL ASPHALT AND CONCRETE CUTS SHALL BE SMOOTH, CLEAN AND IN STRAIGHT LINES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE MADE TO CONCRETE THAT IS TO REMAIN AS PART OF THE NEW DEVELOPMENT.

Sd1

SEDIMENT BARRIER

DEFINITION

A temporary structure made up of porous material typically supported by steel or wood posts. Types include silt fence, brush piles, mulch berms, compost filter socks or other filtering material.



PURPOSE

- Minimize and prevent sediment carried by sheet flow from leaving the site.
- Retain the sediment on the disturbed area.
- Filter sediment from runoff.

INSTALLATION

- Install according to the approved plan.
- Do not install across streams, ditches, waterways, or other concentrated flow areas.
- The type of sediment barrier depends on whether the area is sensitive or non-sensitive.
- For silt fence, Type C will be classified as sensitive and Type A & B will be classified as non-sensitive.
- Install along the contour.
- Along all state waters and other sensitive areas, 2 rows of Type S shall be used. The 2 rows should be placed a minimum of 36' apart.

106

Sd1

- Overlap barriers 18" when using multiple types of sediment barriers in a single run on a site.
- When storing runoff behind the sediment barrier, the maximum continuous slope length behind the sediment barrier shall not exceed those found in Table 1.
- Provide a riprap splash pad or other protection device at any point where flow may overtop the sediment barrier.

Installation Methods

Static Slicing Method

- Using a machine, pull a narrow blade through the ground to create a 12" deep slit, and simultaneously insert the silt fence fabric into the slit behind the blade.
- Roll a tractor wheel along both sides of the slit in the ground 2-4 times to achieve compaction
- Drive posts 18" into ground and attach fabric.



Figure 1. Static Slicing Machine

Trenching Method

- Dig a 2'-6" wide trench with a 6" excavation.
- Drive posts 18" into ground and attach fabric.
- The best trenching method typically requires triple the time and effort to achieve results comparable to the static slicing method.

107

Sd1

Sensitive Areas Sd1-S

Sediment barriers being used as Type S shall have a support spacing of no greater than 4 ft on center, with each being driven into the ground a minimum of 18".

Type C Silt Fence

- 36" wide with wire reinforcement or equivalent backing
- To be used where runoff velocities are particularly high or where slopes exceed a vertical height of 10 ft.

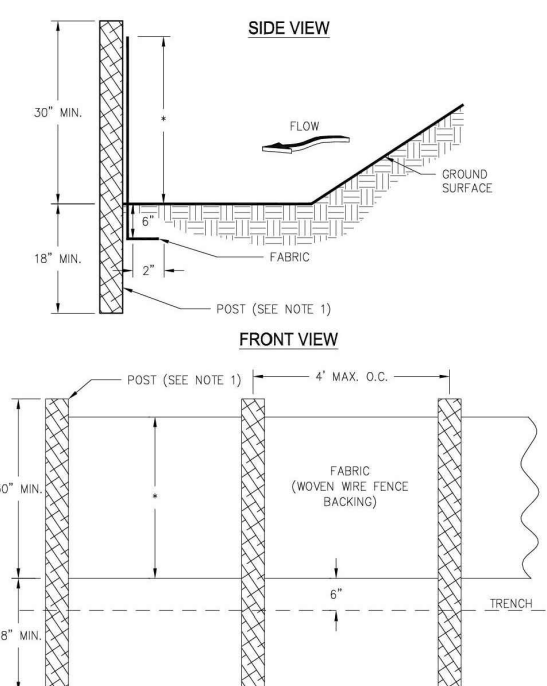


Figure 1. Type "C" Silt Fence

108

Sd1

Table 1. Criteria for Sediment Barrier Placement

Land Slope (%)	Maximum Slope Length Behind Fence (ft)
<2	100
2-5	75
5-10	50
10-20	25
>20	15

MAINTENANCE

- Remove the sediment once it has accumulated to one-half the original height of the barrier.
- Replace barrier whenever it has deteriorated to such an extent that the effectiveness of the product is reduced (~6 months) or the height of the product is not maintaining 80% of its properly installed height.
- Remove and dispose of all accumulated sediment at the barrier before it is removed.
- Leave in place until all disturbed areas are permanently stabilized.

Table 2. Post Size

Type	Min. Length	Type of Post	Size of Post
NS	4'	Oak Steel Soft Wood	1.5"x1.5" 1.15lb/ft min 3" or 2"x4"
S	4'	Oak Steel	2"x2" 1.15lb/ft. min

Figure 1. Thomas Carpenter, CPESC, Carpenter Erosion Control.

111

Sd4

TEMPORARY SEDIMENT TRAP

DEFINITION

A small temporary pond that drains a disturbed area so that sediment can settle out.



PURPOSE

- Collect and store sediment from uphill sites cleared and/or graded during construction.
- For use on small tributary areas with no unusual drainage features.

INSTALLATION

- Install according to the approved plan.
- Sediment traps are effective against coarse sediment, but not against silt or clay particles.
- The maximum drainage area is 5 acres depending on the type of installation.
- The maximum depth of a trap is 4 ft as measured from the bottom of the trap to the invert of the emergency spillway.
- Ensure the length to width ratio is great than 2:1.
- The height of the embankment shall not exceed 5.5 ft from the downstream toe to the top of the berm. The top width shall be at least 3 ft.
- Slopes shall not exceed 2:1.

126

Sd4

- Construct side slopes 3:1 or flatter to allow people and equipment to enter the trap.

Methods

Overflow Outlet

- Limited to small drainage areas less than 1 acre with gentle slopes (1-2%).
- The maximum life span is 6 months.
- Silt fence, straw bale barriers or grass filter strips are used to "polish" the overflow water as it leaves the sediment trap.

Combination Outlet

- A combination of straw bales and silt fence are used to dewater the trap.
- Properly install and stake the straw bales and ensure the silt fence has a wire backing so that the materials can resist 1 ft or more of ponded water.
- The maximum drainage area is 1 acre.
- The life span is less than 1 year.
- Requires frequent maintenance and adjustments.

Rock Outlet

- This type relies on filtering through layers of aggregate, rock or riprap material to dewater the sediment trap.
- This is the sturdiest design of the three and requires less maintenance.
- The maximum drainage area is 5 acres.
- The life span is typically 1 year.

127

Sd4

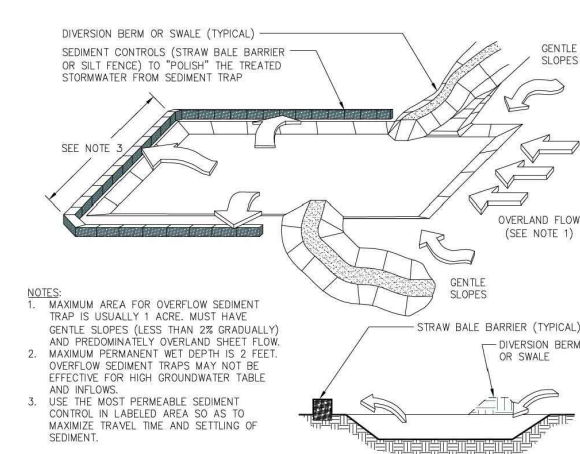


Figure 1. Overflow Outlet

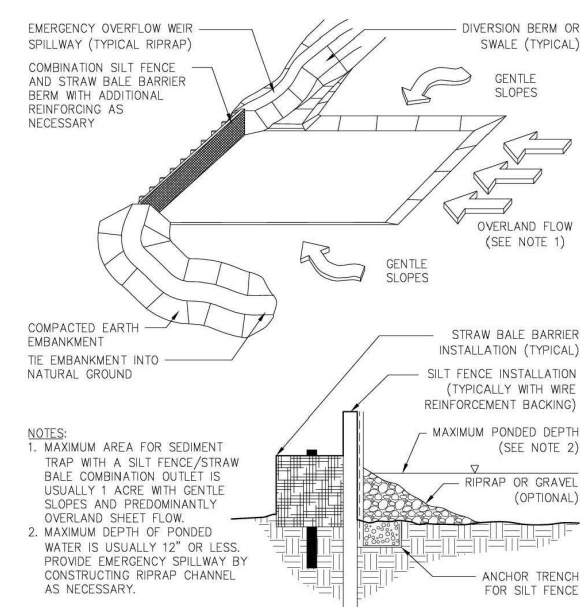


Figure 2. Combination Outlet

128

Sd2

INLET SEDIMENT TRAP

DEFINITION

A temporary protective device formed at or around an inlet to a storm drain to trap sediment.



PURPOSE

- Prevent sediment from entering a storm drainage system prior to permanent stabilization of the disturbed area draining to the inlet.

INSTALLATION

- Install according to the approved plan.
- Do not install on paved surfaces where safety is a concern.
- Sediment traps must be self-draining unless otherwise protected.
- Install at or around all storm drain drop inlets that receive runoff from disturbed areas.
- Construct on natural ground surface, excavated surface, or on machine compacted fill.

Excavated Sediment Traps

- An excavation created around the inlet to provide additional sediment storage.
- Provide a minimum depth of 1.5 ft for sediment storage.
- The side slopes shall not be steeper than 2:1.
- The drainage area entering the trap shall be no greater than 1 acre.

112

Sd2

- For the "pigs-in-a-blanket" method, wrap 8" concrete blocks in filter fabric and span across catch basin inlet.
- Face openings in blocks outward.
- Leave a gap of ~4" between the inlet filter and the inlet to allow for overflow and prevent hazardous ponding in the roadway.
- Another method uses gravel bags constructed by wrapping GADOT #57 stone with filter fabric, wire, plastic mesh, or equivalent material.

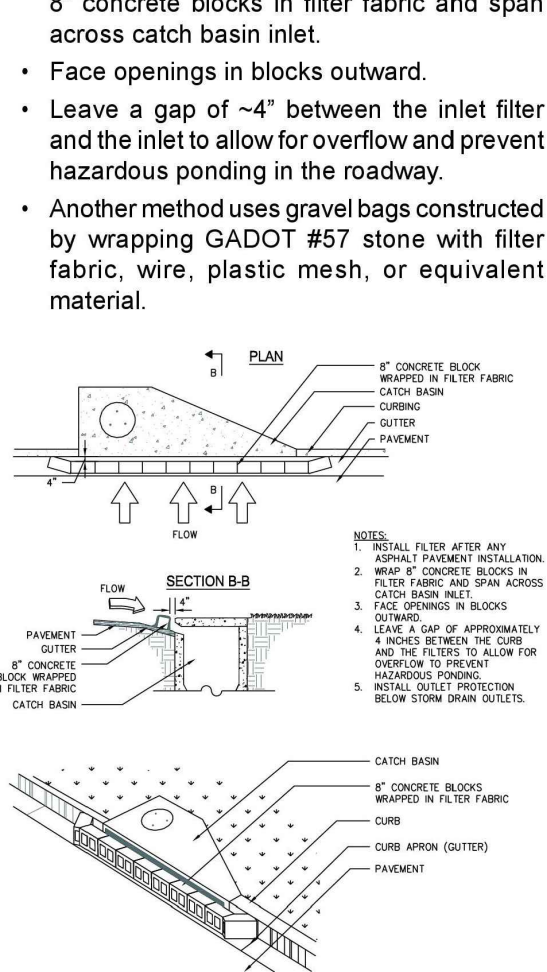
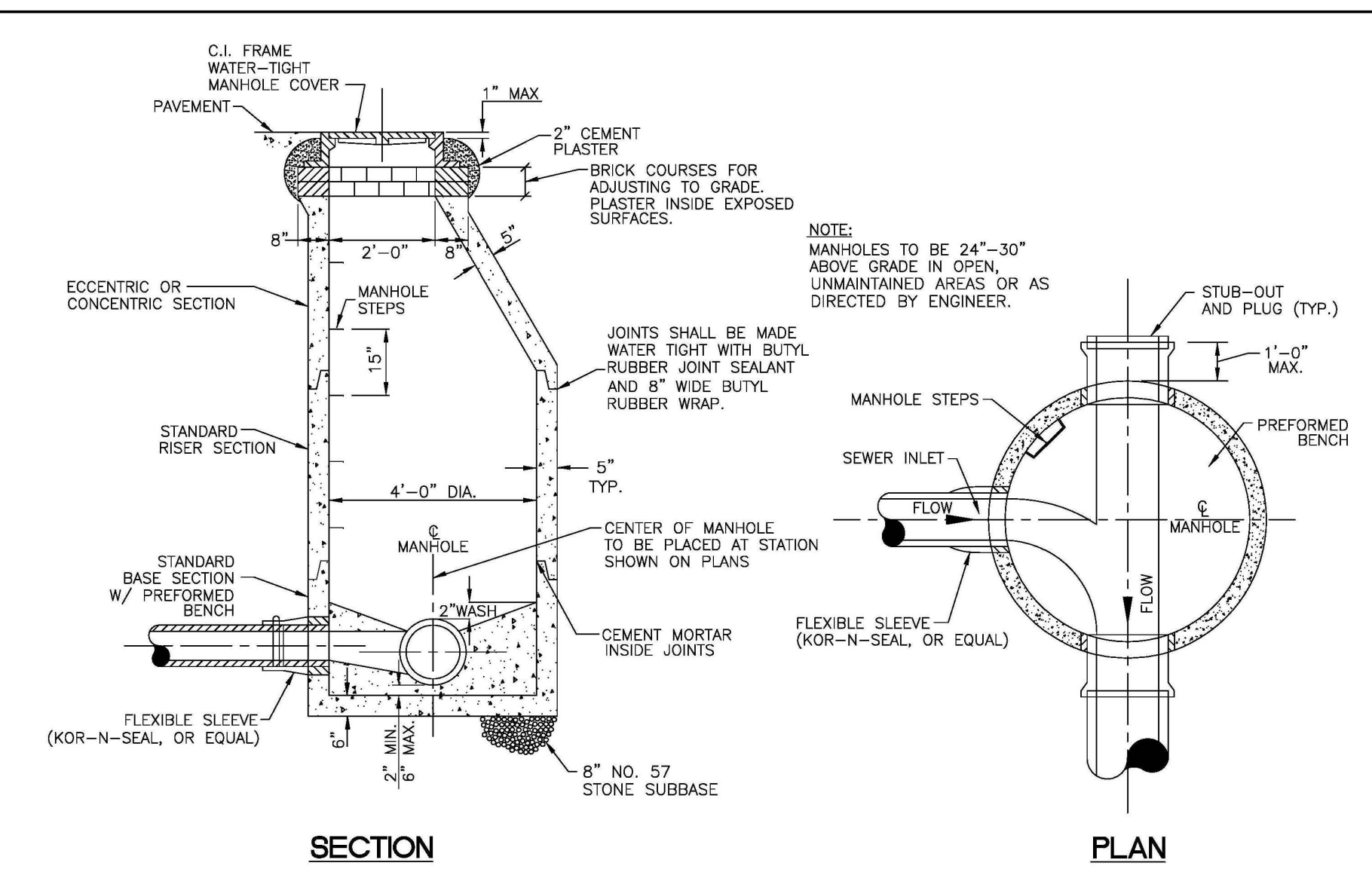


Figure 5. Curb Inlet Protection Installation Requirements (Sd2-P)

117



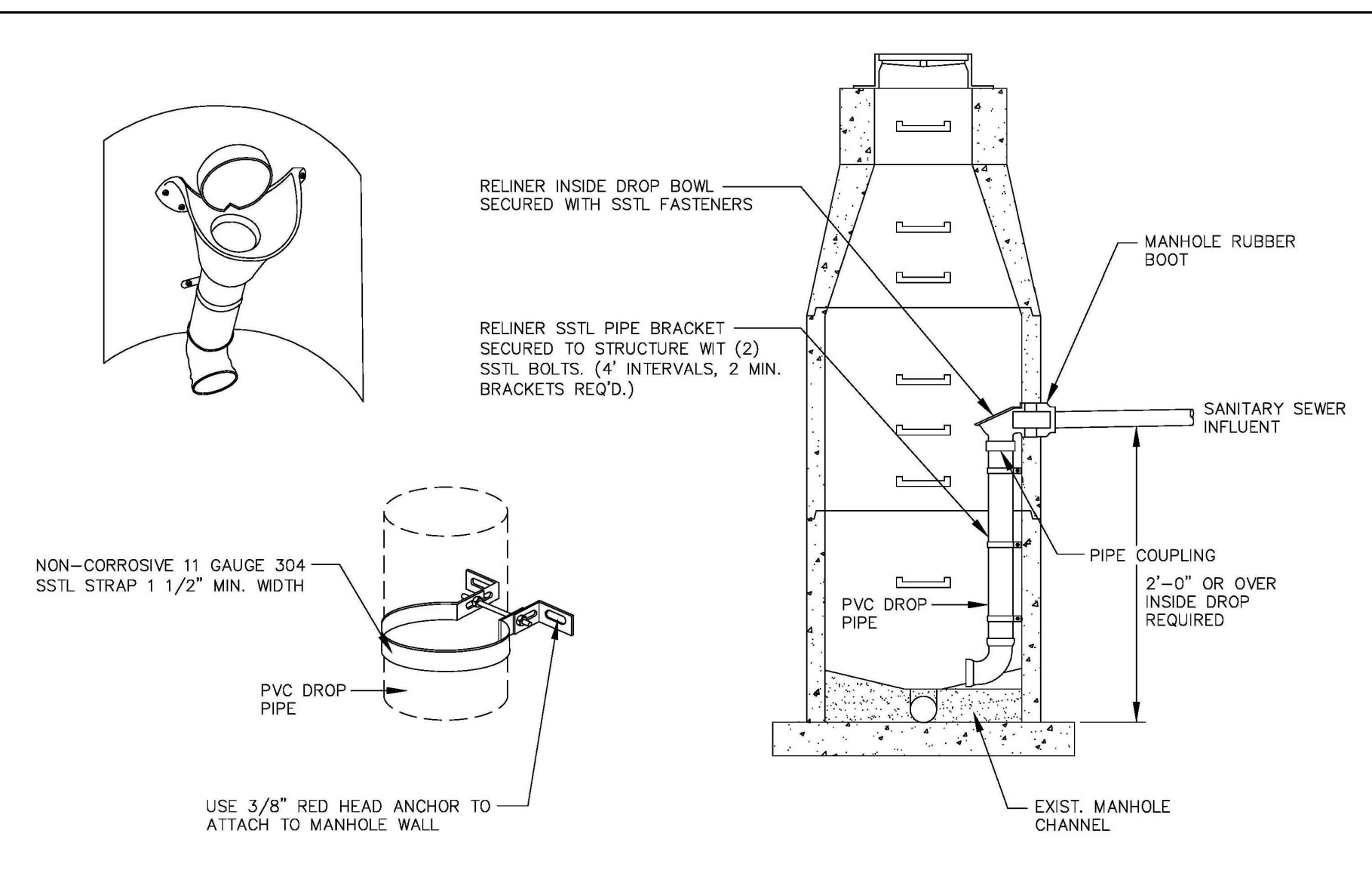
COWETA COUNTY WATER AND SEWERAGE AUTHORITY
545 CORNITH ROAD
NEWNAN, GA 30283
(770) 254-3710

STANDARD PRECAST 4'-0" MANHOLE

S-0002

DESIGNED: COWSA DATE: 12/16
DRAWN: GMC SCALE: NTS

DATE: 12/16



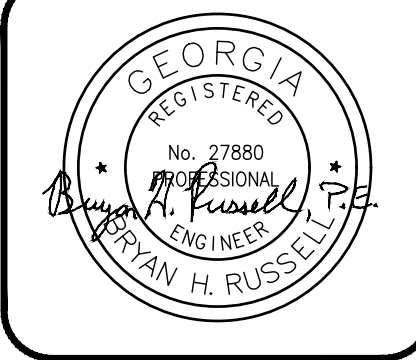
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INSIDE DROP MANHOLE

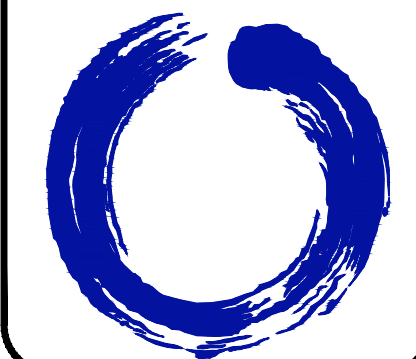
S-0006

DESIGNED: COWSA DATE: 12/16
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ISSUED FOR: PERMIT
JURISDICTION: CITY OF SENOIA
LOCATION: 8190 WELLS STREET, SENOIA, GA 30276

#	DATE	REVISIONS
1	02.28.23	CITY COMMENTS
2	03.28.23	CITY COMMENTS
3	04.21.23	BENCH ADDED

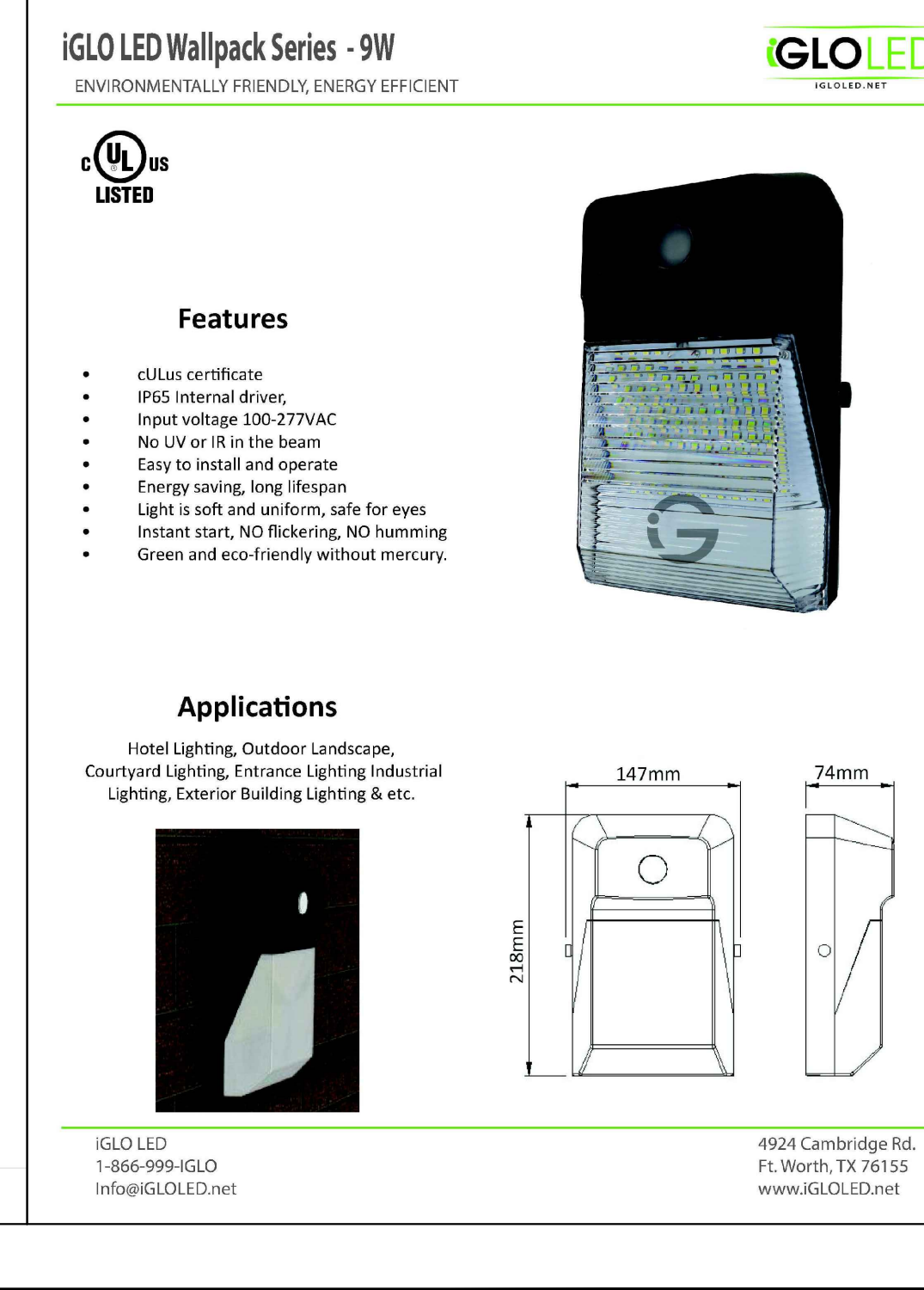
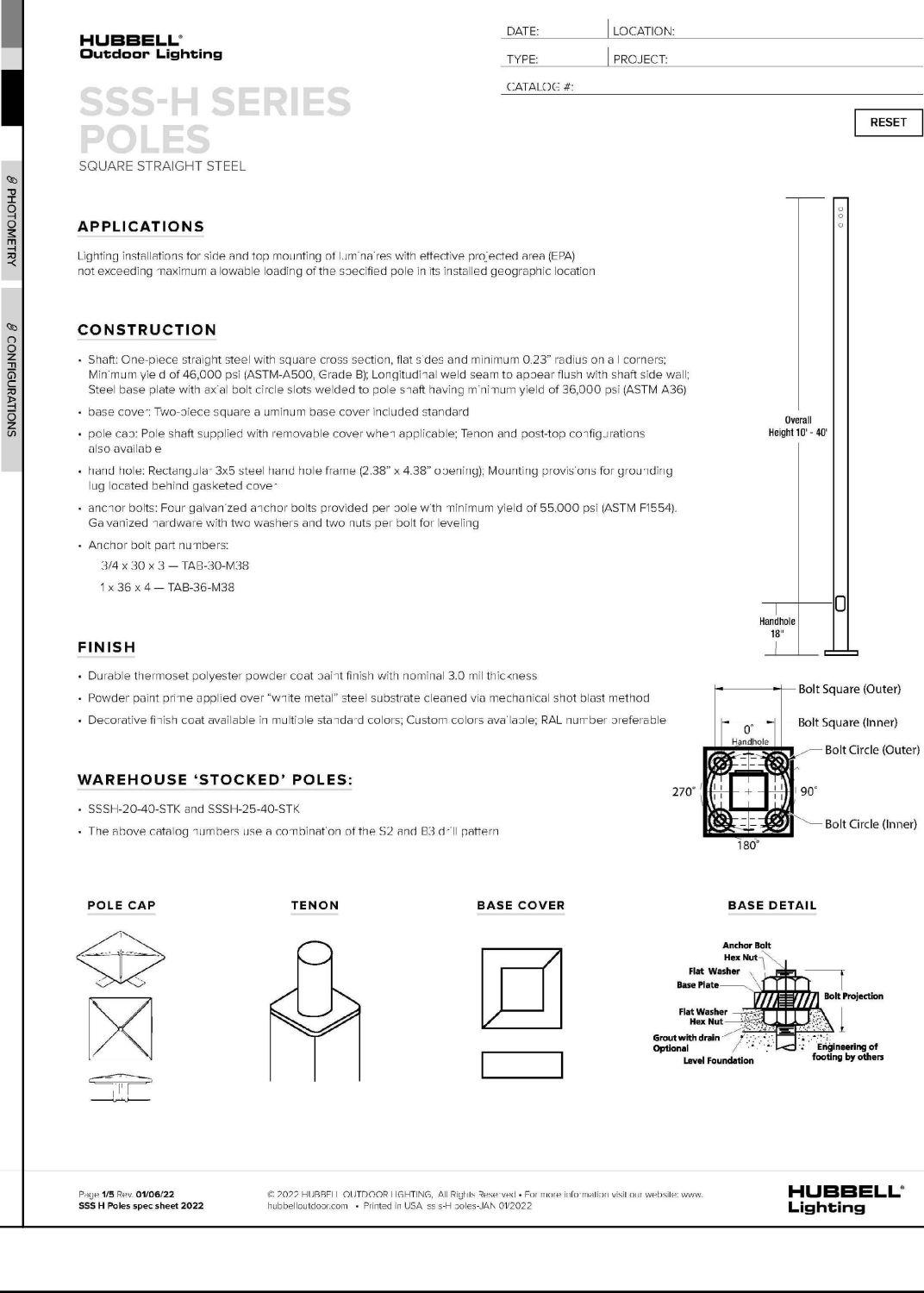
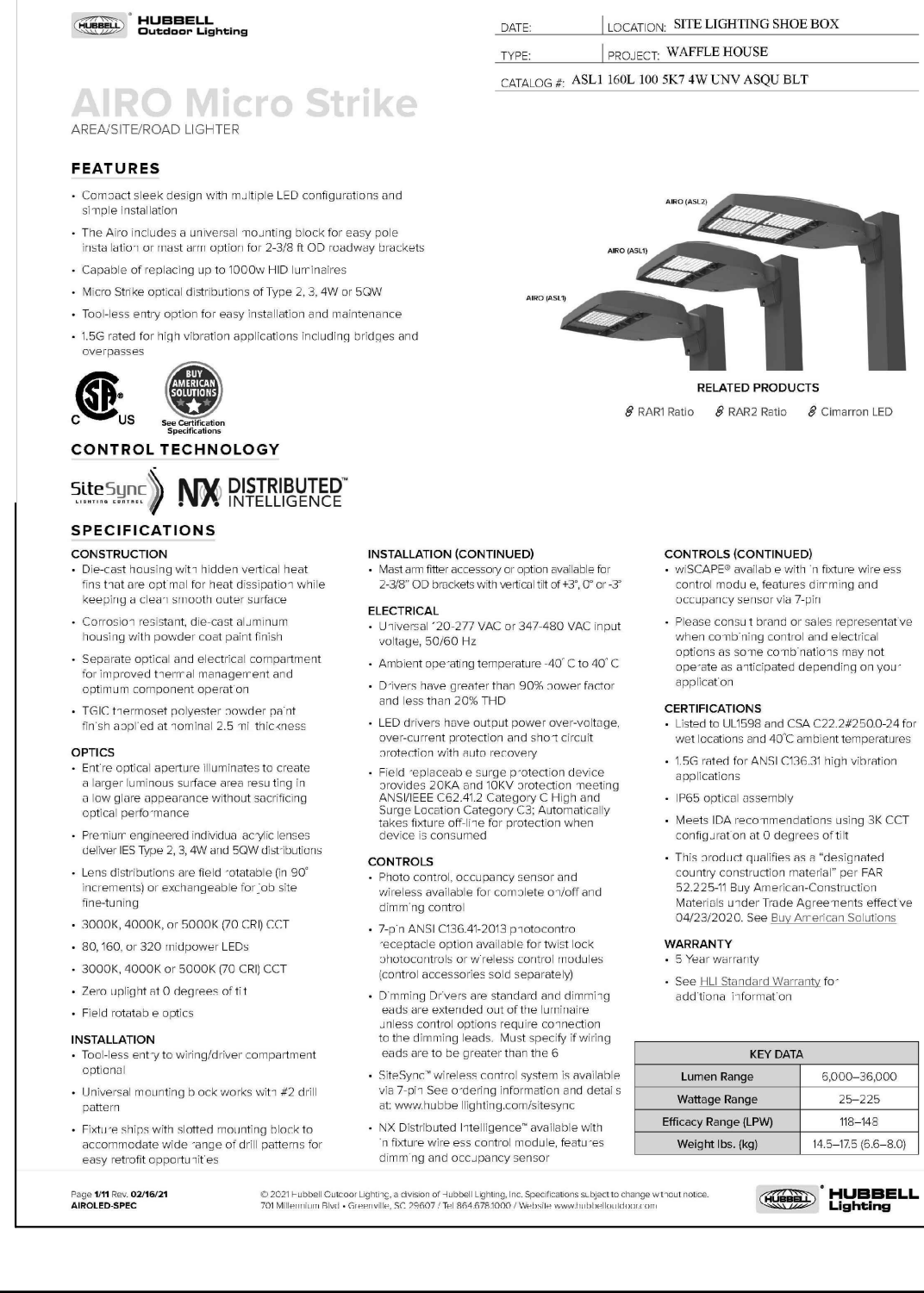
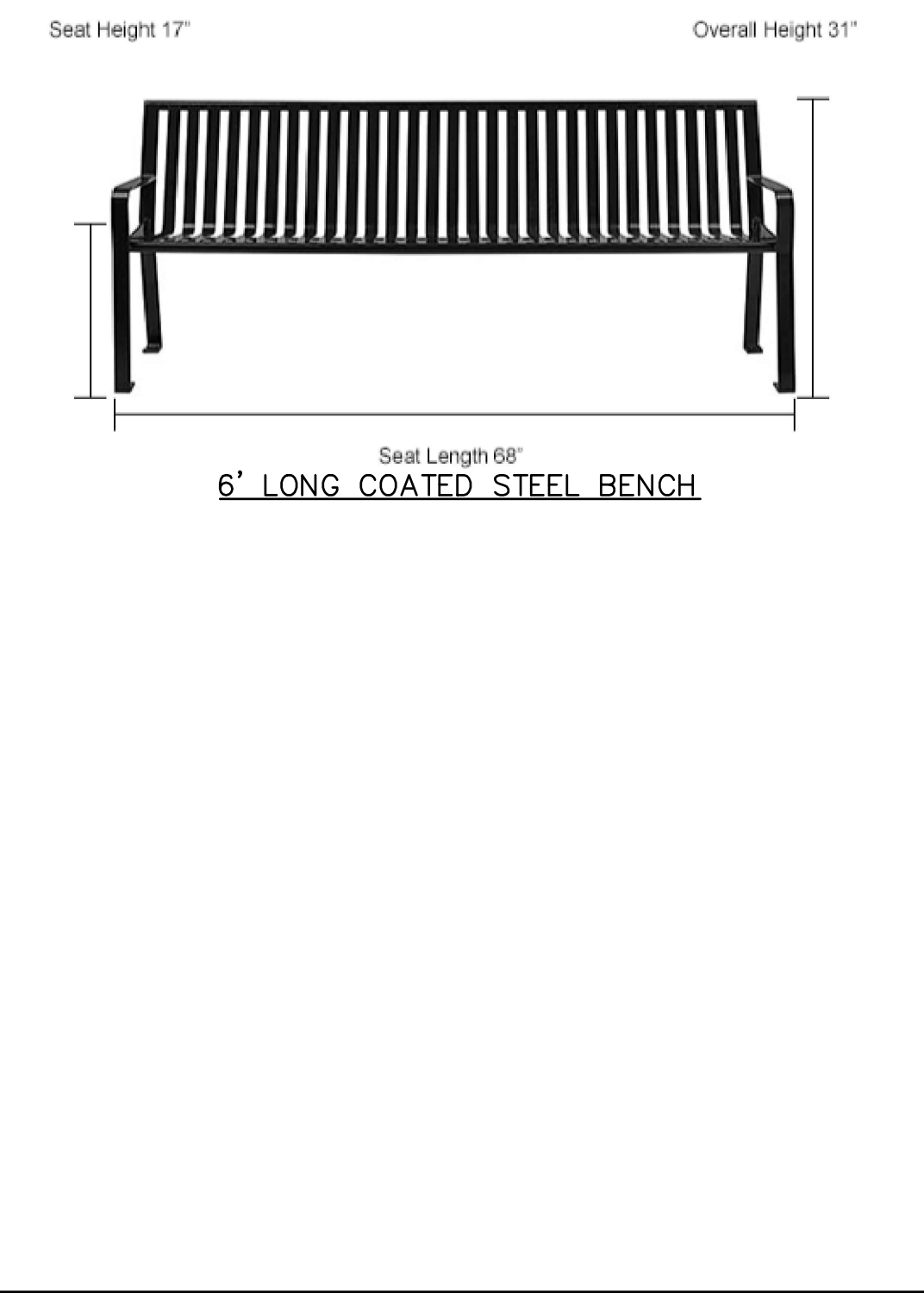
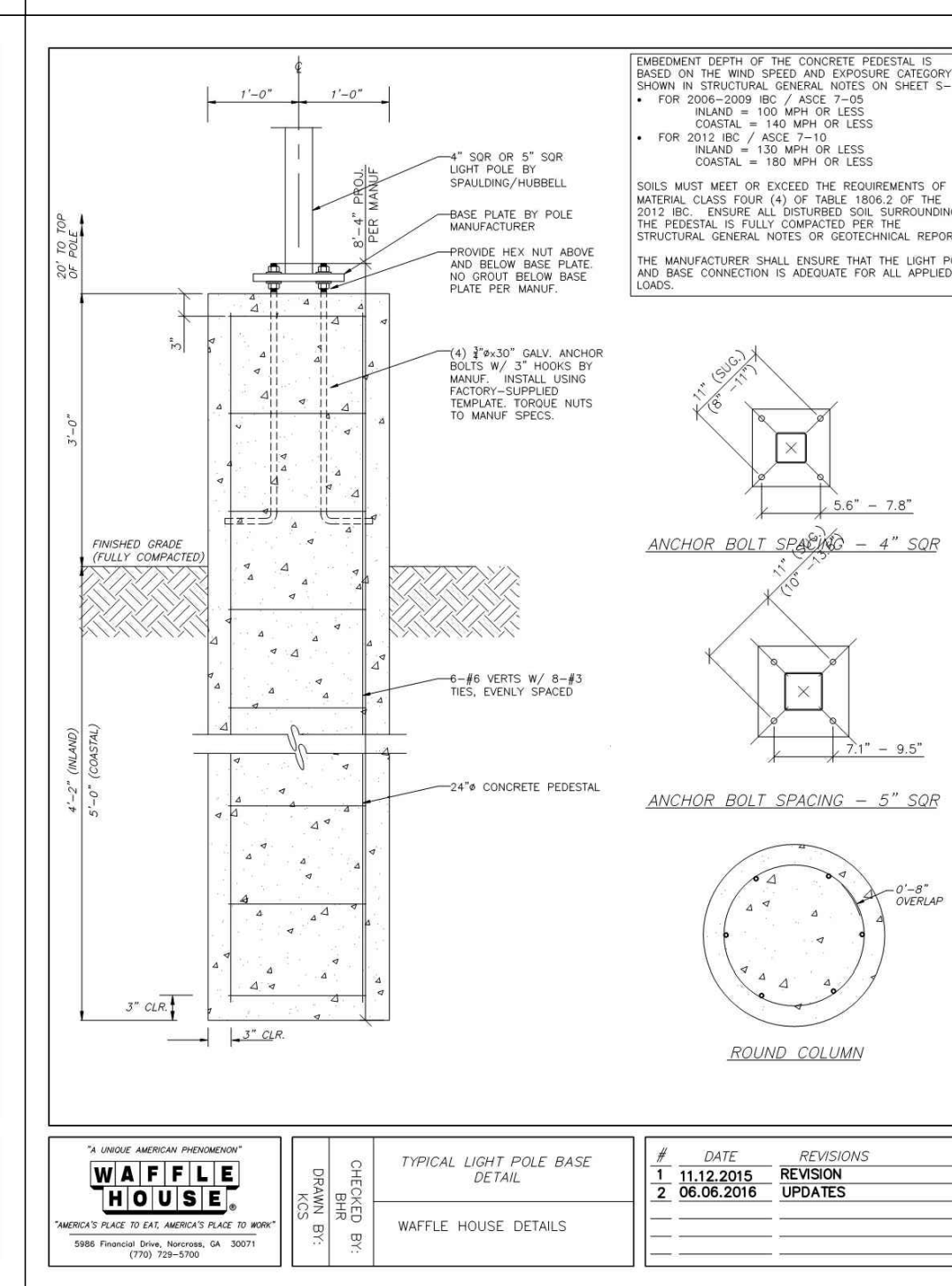
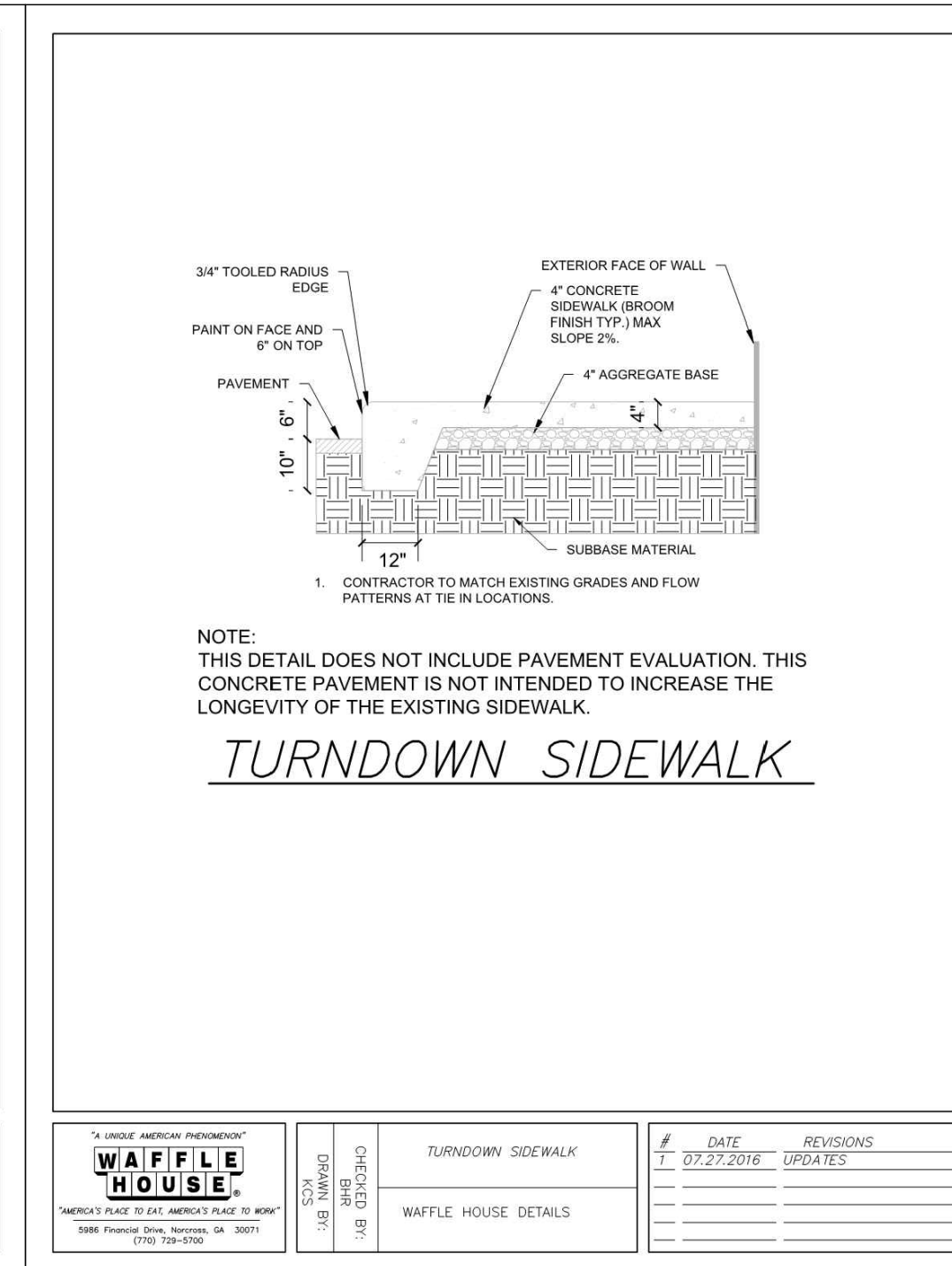
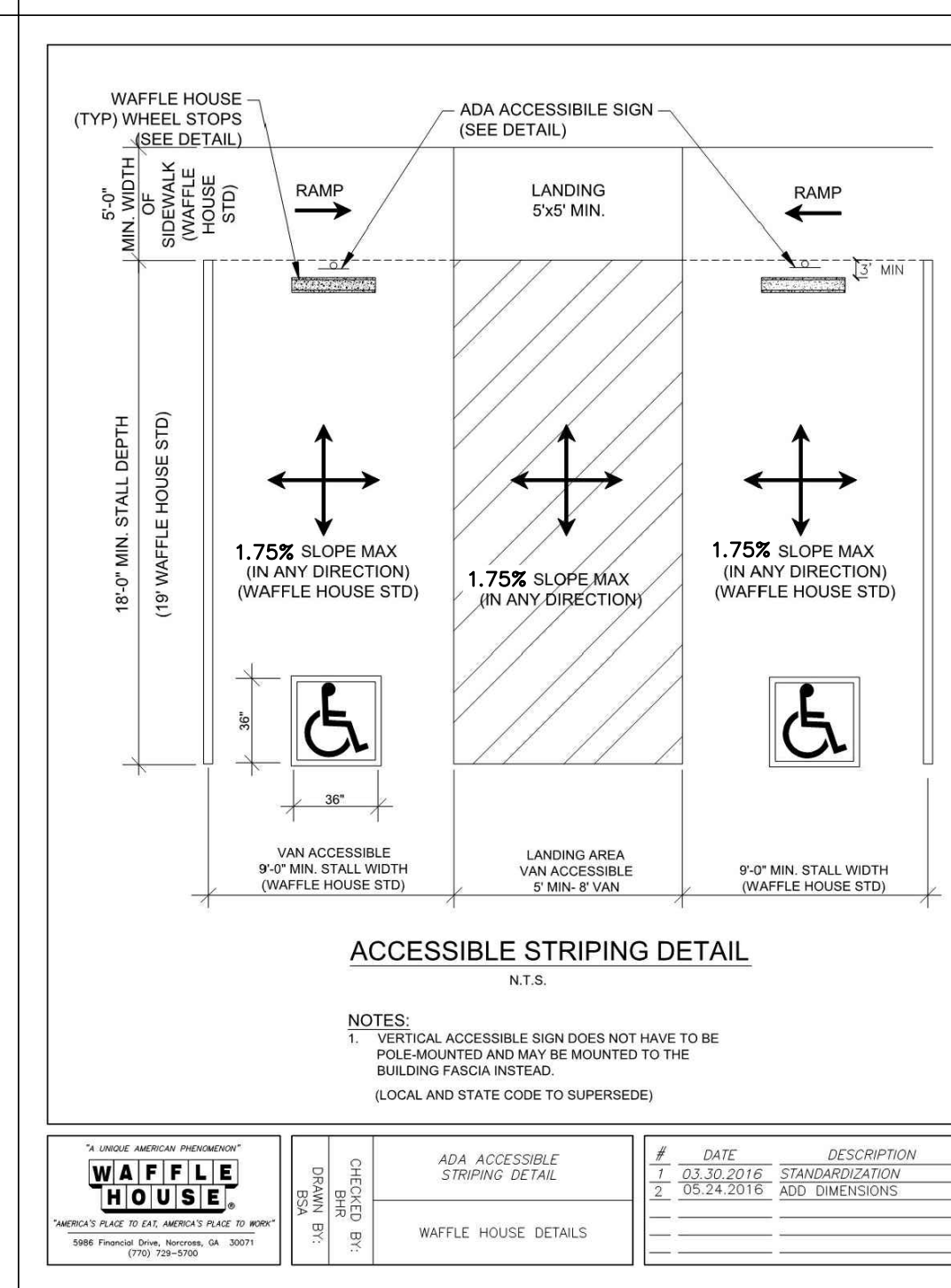
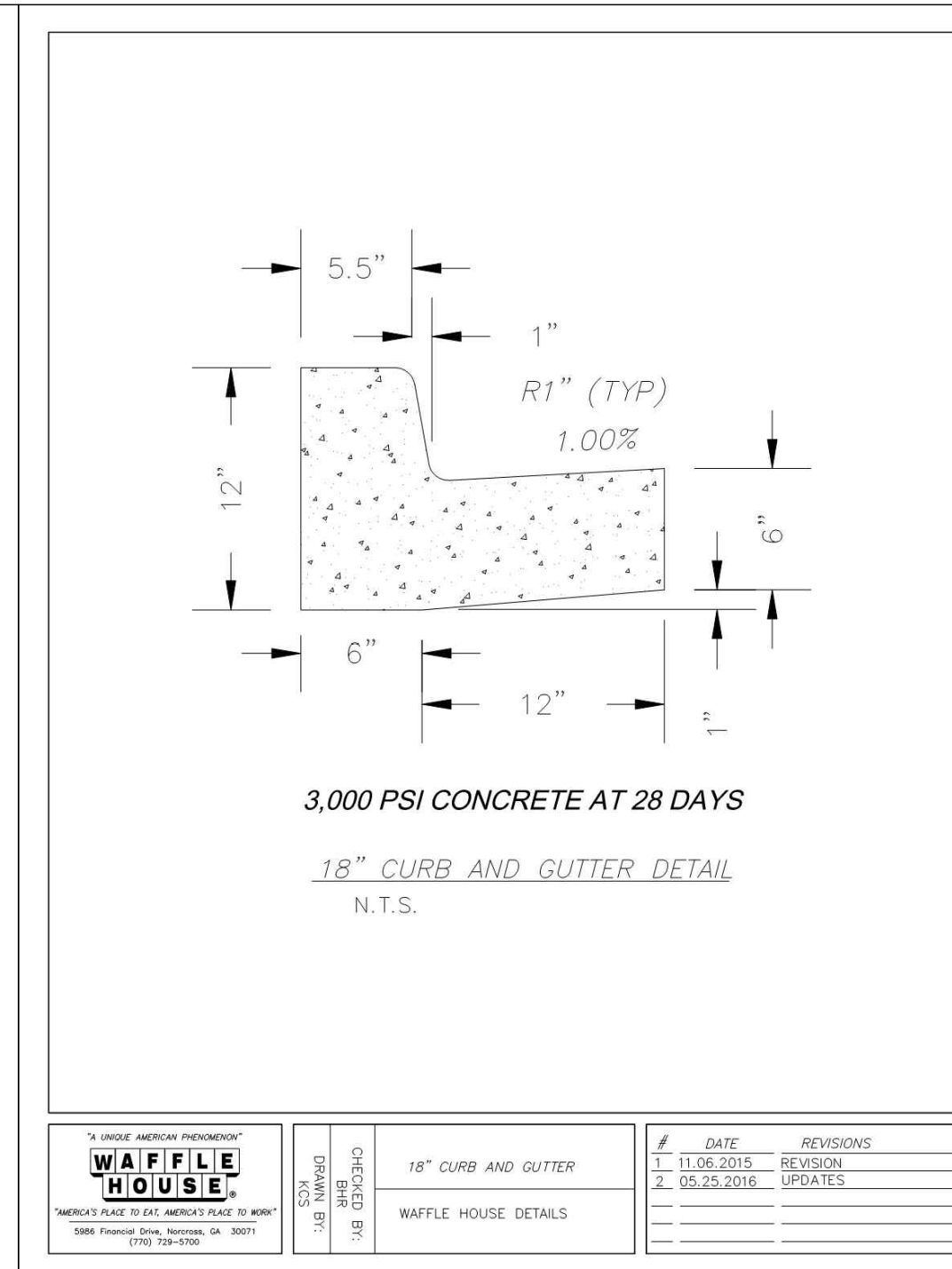
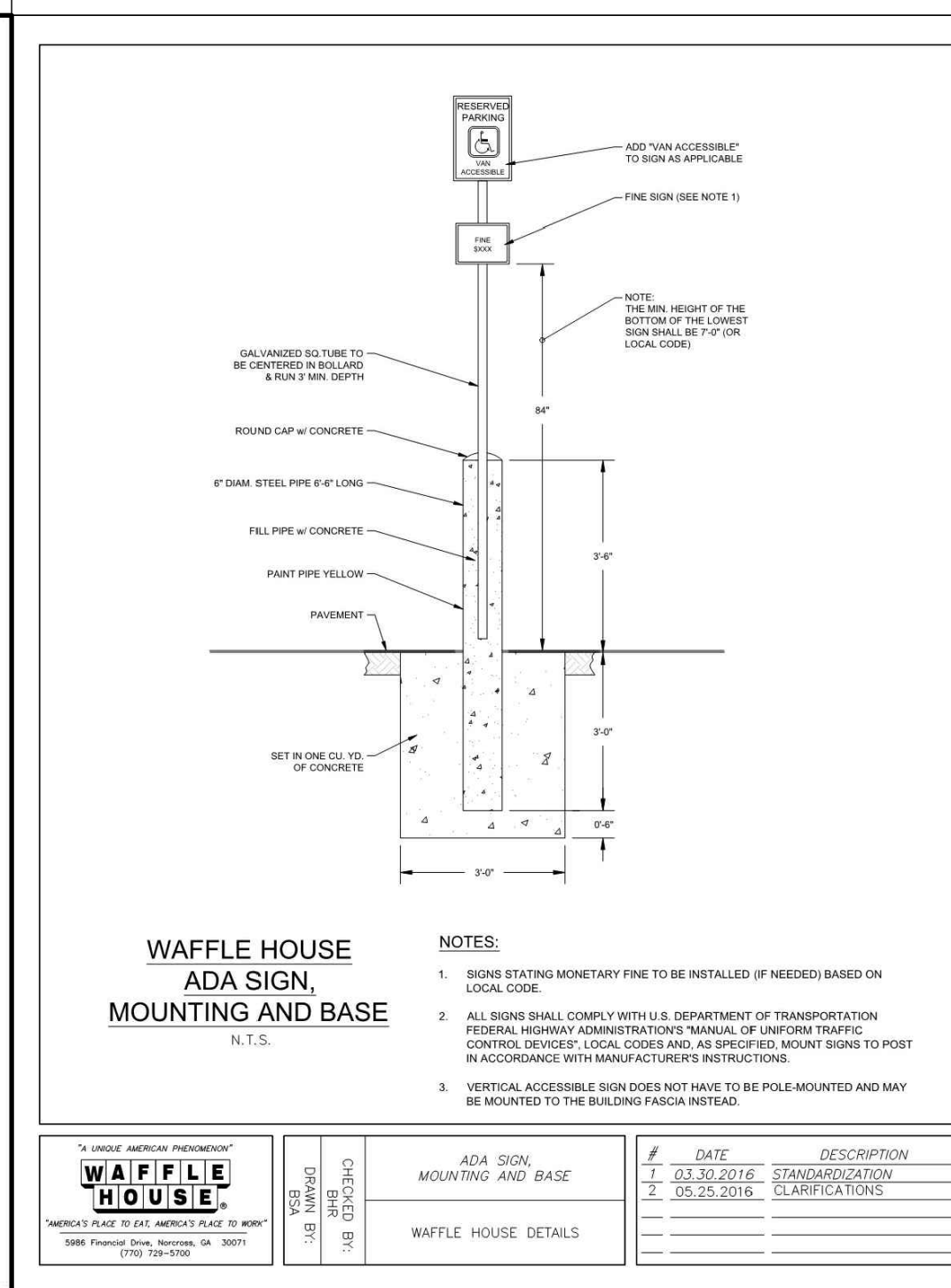
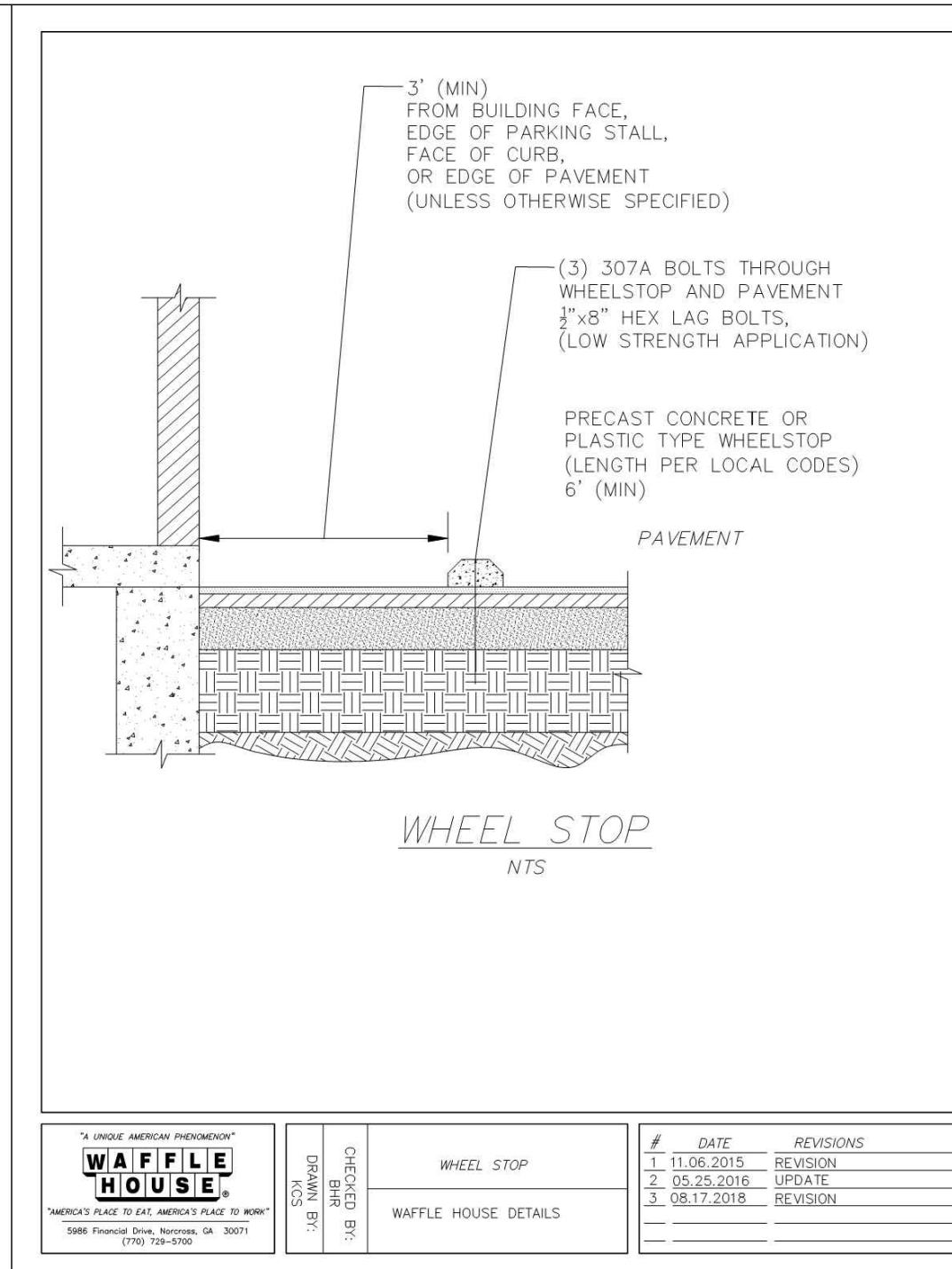
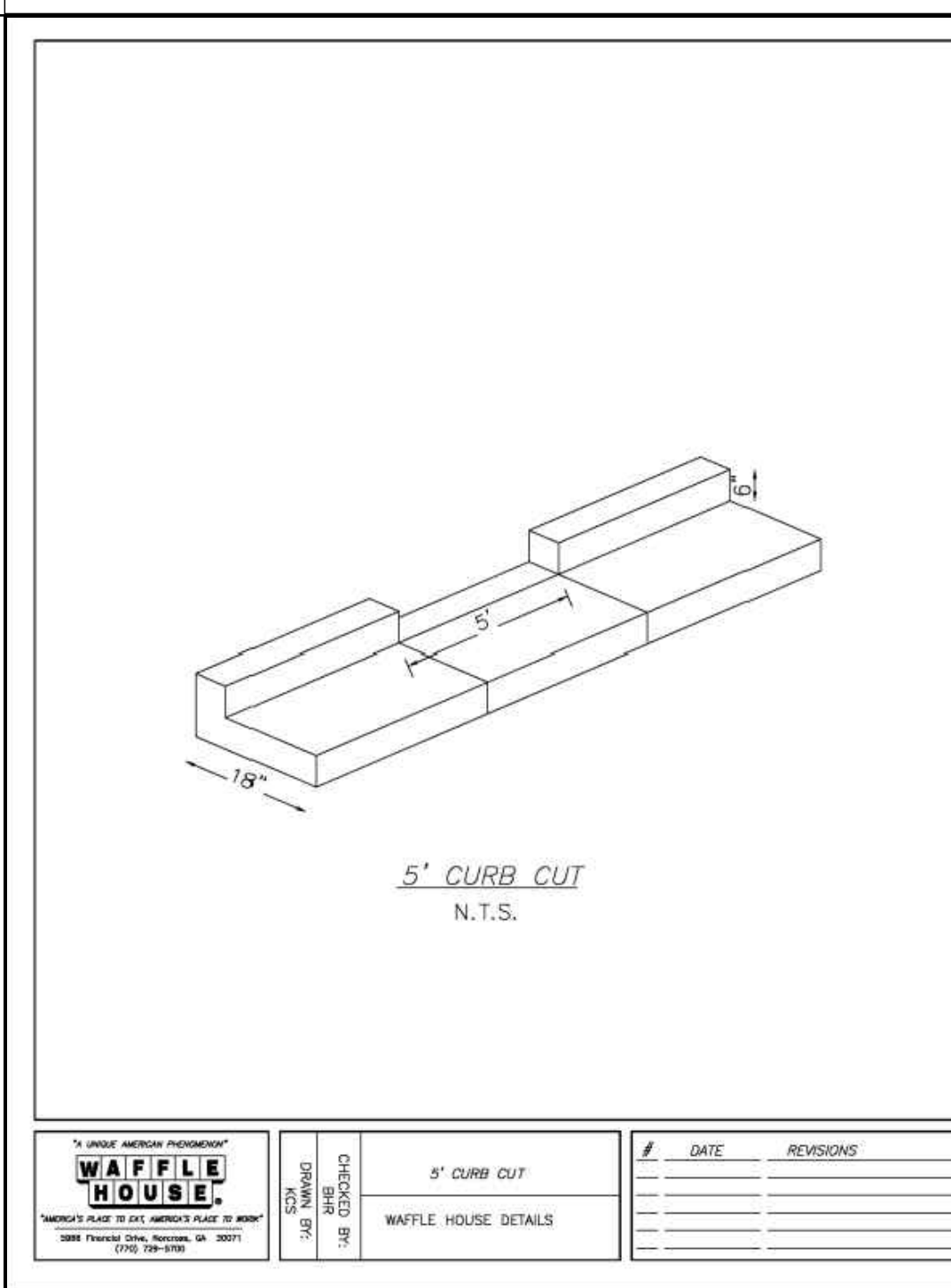
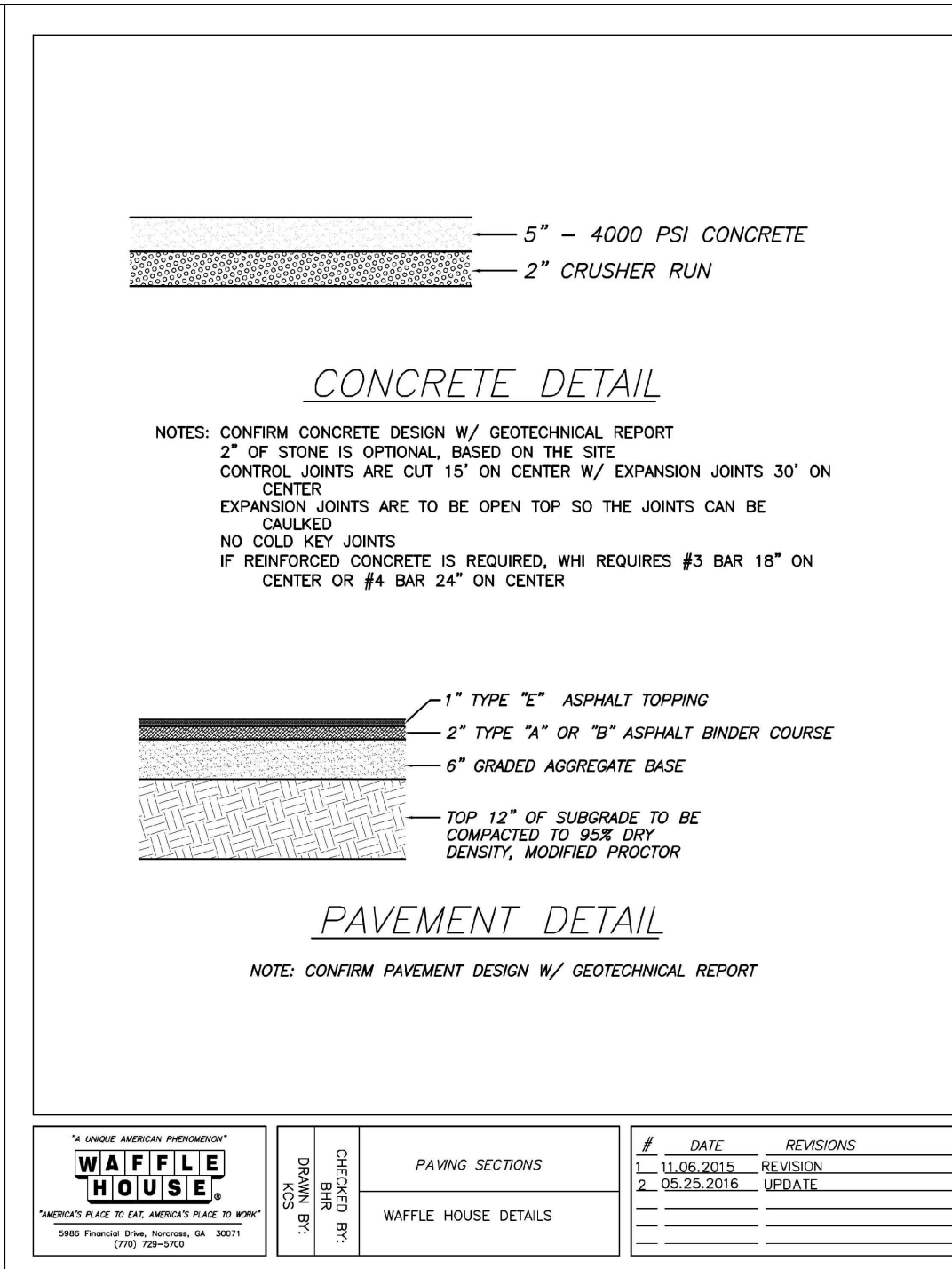
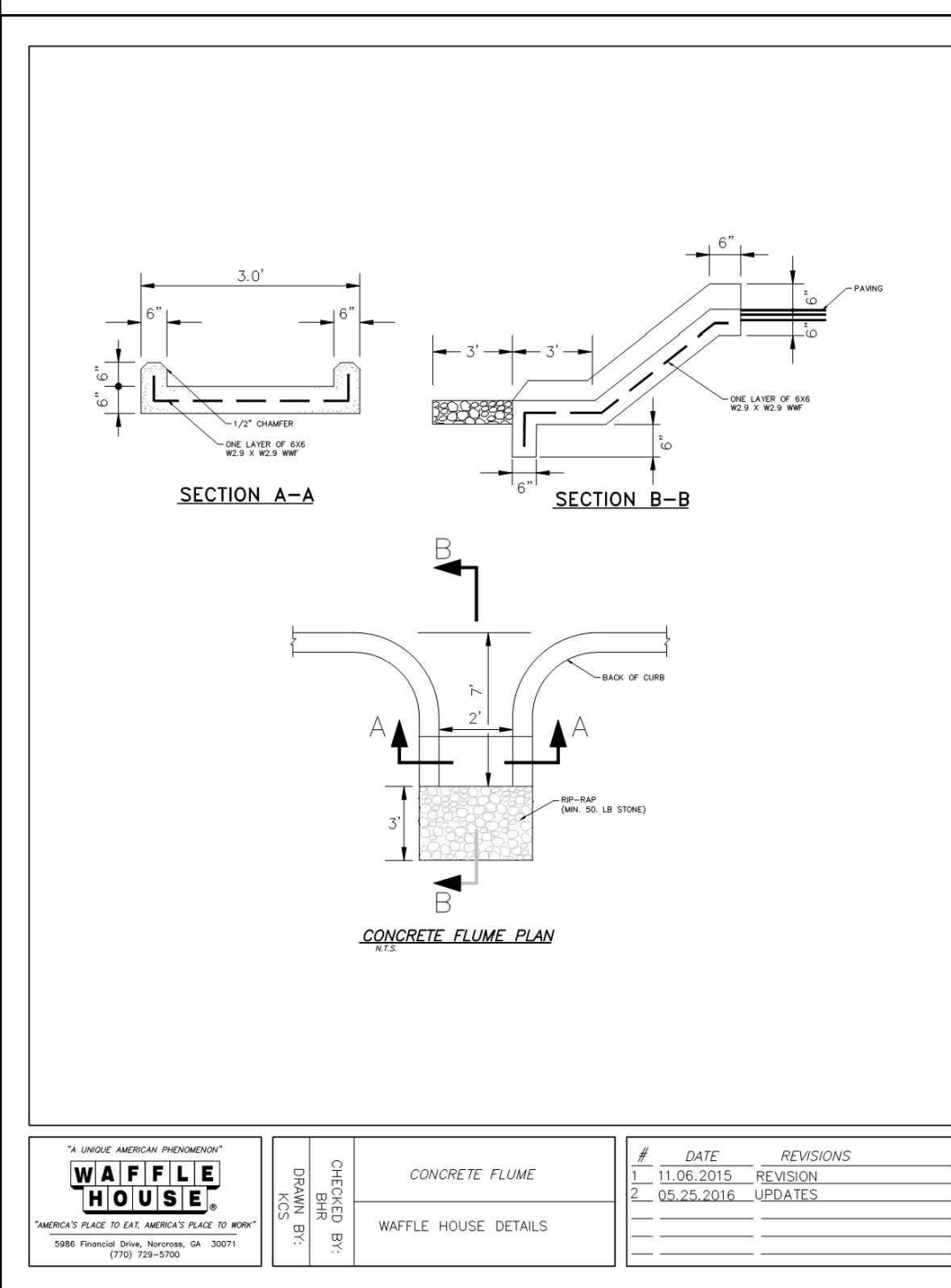
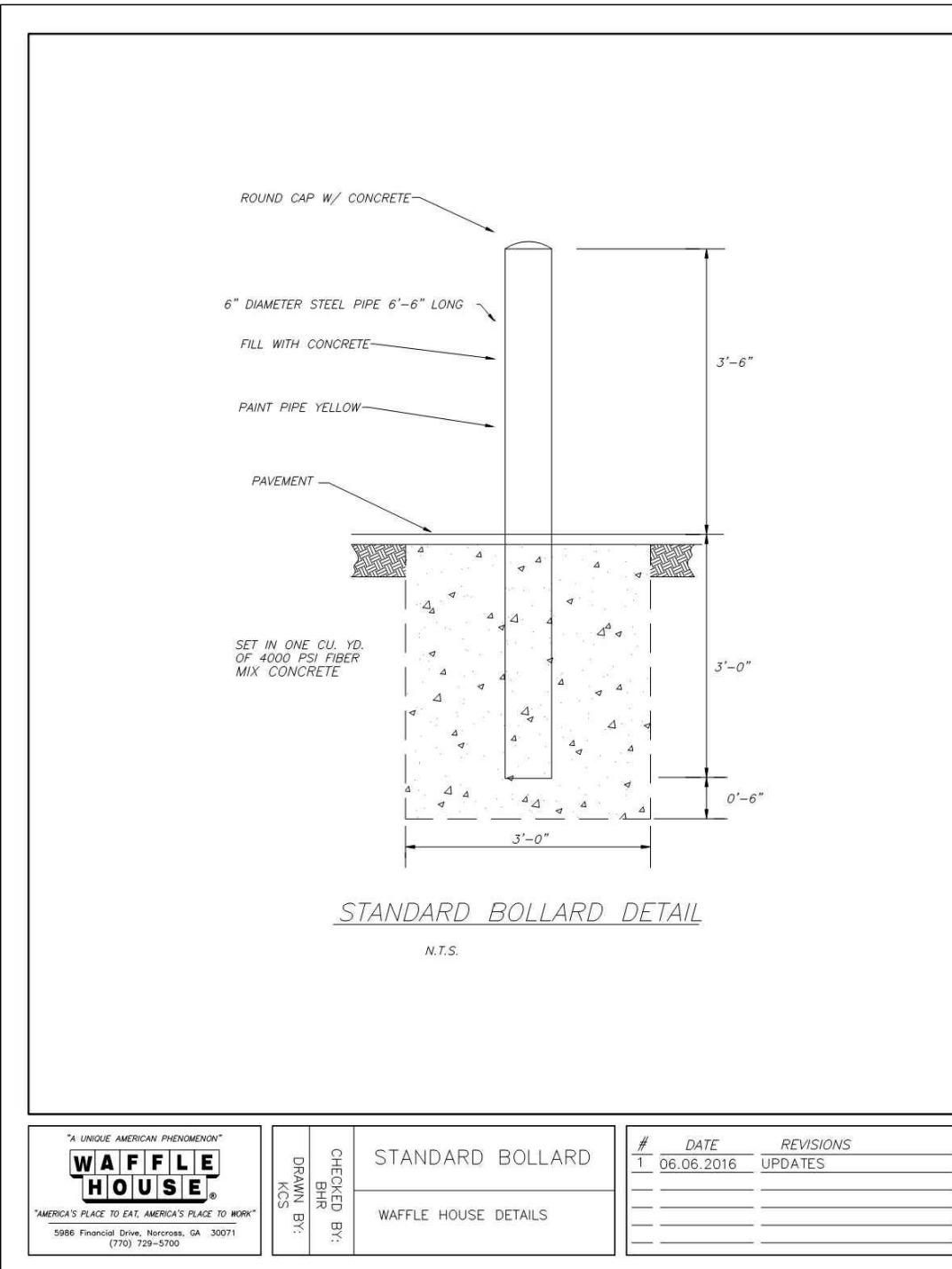
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JOB NO: 22-331
DATE: 01/12/23

DETAILS 2

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DETAILS 3

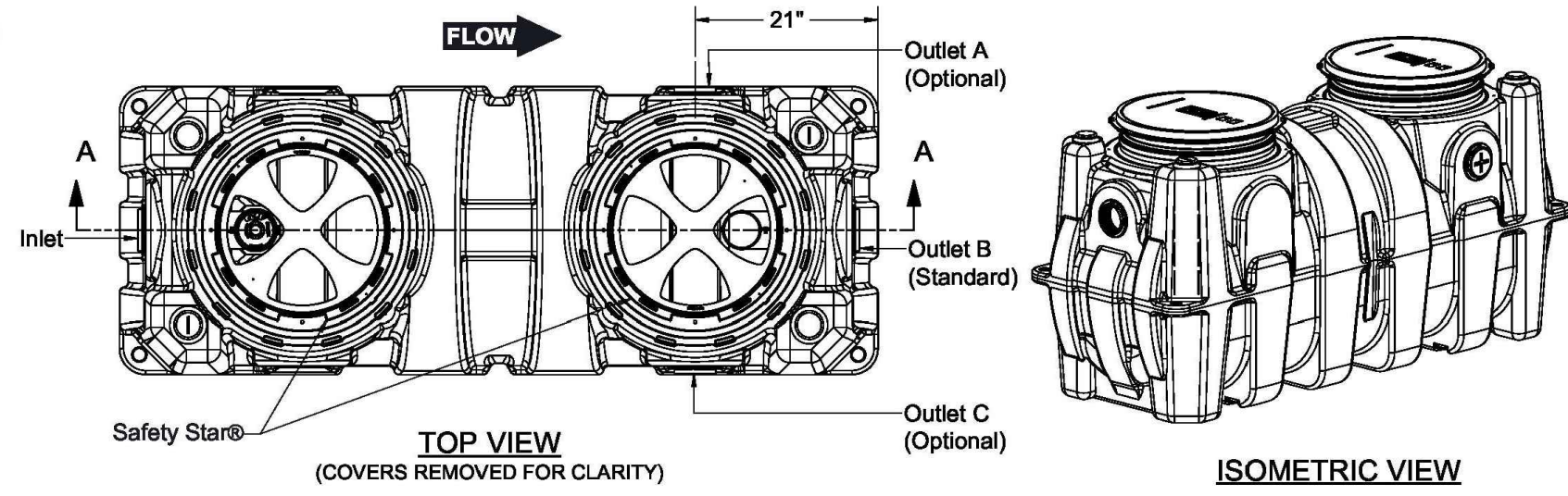
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DATE: 01/12/23

C08

SPECIFICATIONS

- Notes:
- 4" FPT inlet/outlet with 4" plain end adapters, single inlet and triple outlet.
 - Unit weight - w/ cast iron covers: 376 lbs. (For wet weight add 2,310 lbs.)
 - Maximum operating temperature: 150° F continuous
 - Capacities - Liquid: 277 gal.; Grease: 1,895 lbs. (260 gal.) @ 100GPM; Grease: 1,196 lbs. (164 gal.) @ 200GPM; Solids: 69 gal.
 - This unit does not require flow control for 100 GPM applications. Built-in flow control is provided for 200 GPM applications. For series installations, only install flow control on the first unit in the series if necessary.
 - For gravity drainage applications only.
 - Do not use for pressure applications.
 - Cover placement allows full access to tank for proper maintenance.
 - Vent not required unless per local code.
 - Engineered inlet and outlet diffusers with inspection ports are removable to inspect / clean piping.
 - Integral air relief / Anti-siphon / Sumping access.
 - Adjustable cover adapters provide up to 4" of additional height.
 - Designed for below-grade, above-grade, indoor or outdoor installations.
 - Safety Star® access restrictor built into each cover adapter, prevents accidental entry to tanks (450 lb rating).

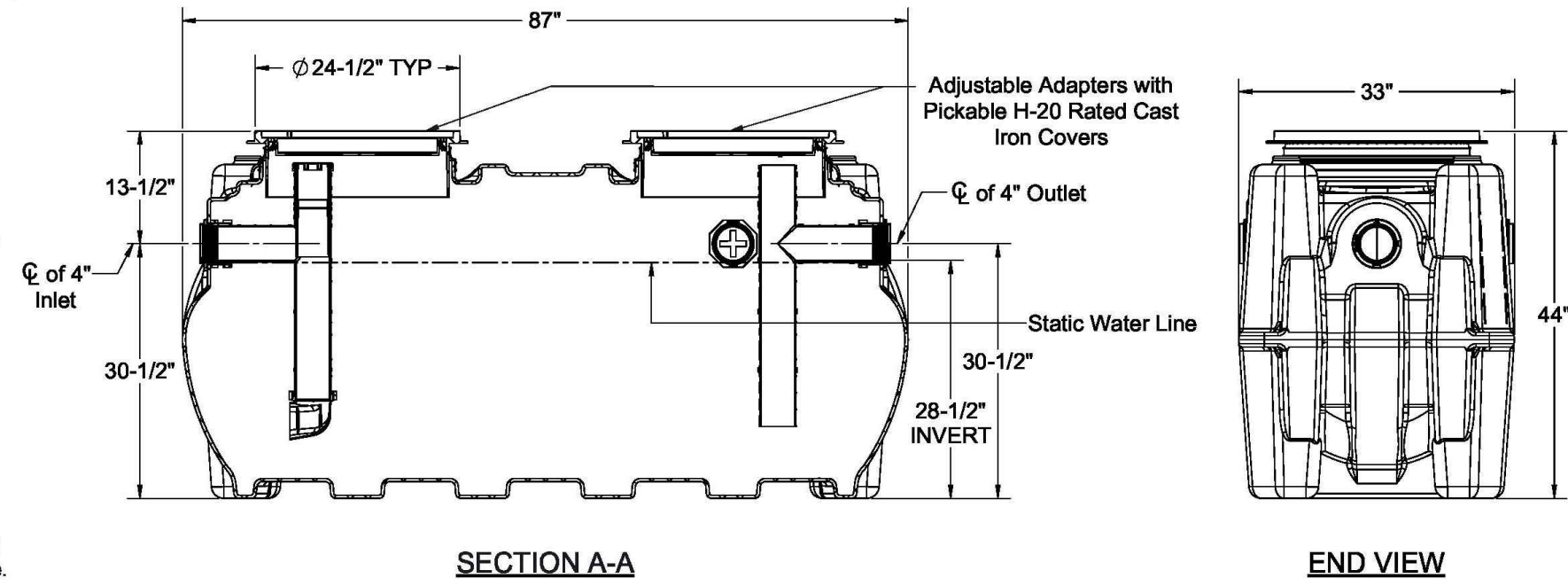


ENGINEER SPECIFICATION GUIDE

Schier Great Sash™ grease interceptor model # GB-250 shall be lifetime guaranteed and made in USA of seamless, rotationally-molded polyethylene with minimum 3/8" uniform wall thickness. Interceptor shall be furnished for above or below-grade installation with adjustable cover adapters. Safety Star® access restrictor built into each cover adapter, built-in flow control (for 200 GPM only) and three outlet options. Interceptor shall be certified to ASME A112.14.3 (Type D for 100 GPM, type C for 200 GPM) and CSA B481.1. Interceptor flow rate shall be 100 GPM or 200 GPM. Interceptor grease capacity shall be 1,895 lbs. @ 100 GPM or 1,196 lbs. @ 200 GPM. Cover shall provide water/gas-tight seal and have minimum 15,000 lbs. load capacity.

CERTIFIED PERFORMANCE
Great Sash™ hydromechanical grease interceptors are third party performance-tested and listed by IAPMO to ASME #A112.14.3 and CSA B481.1 grease interceptor standards and greatly exceed requirements for grease separation and storage. They are compliant to the Uniform Plumbing Code and the International Plumbing Code.

Type D certification does not require a flow control



SPECIFICATION SHEET

MODEL NUMBER: GB-250	PART NUMBER: 4055-007-02			
DESCRIPTION: GB-250 GREASE INTERCEPTOR 100 GPM / 200 GPM, 4" INLET/OUTLET, H-20 RATED CAST IRON COVERS				
<p>PROPRIETARY AND CONFIDENTIAL THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF SCHIER PRODUCTS. ANY REPRODUCTION OR TRANSMISSION OF SCHIER PRODUCTS IS PROHIBITED.</p>				
DWG BY: C.SINCLAIR	DATE: 5/4/2022	REV: -	ECO: -	<p>6455 Woodland Dr Shawnee, KS 66218 Tel: 913-951-3300 Fax: 913-951-3399 schierproducts.com</p>

GREASE TRAP CALCULATIONS:

WAFFLE HOUSE RESTAURANT:
GREASE FACTOR OF .0065 X 250 MEALS/DAY X 90 DAYS BETWEEN PUMP-OUTS = 146.25 GAL. CAPACITY REQUIRED

MAXIMUM FLOW FROM KITCHEN SEWER: 4" PIPE AT TWO-MIN. DRAINAGE (EXTERIOR TRAP) = 75 GPM FLOW RATE

GB-250 SPECS:
450 MEALS PER DAY OR LESS.

MAXIMUM FLOW RATE: 100 GPM

WALL SCHEDULE

INLAND					
MAX H	T	VERT REIN	W	FOOTING	
6'-0"	3'-0"	#5 @ 48" OC	1'-6"	1'-6"	
8'-0"	4'-0"	#5 @ 40" OC	1'-6"	1'-6"	

COASTAL AND/OR SDC "D"					
MAX H	T	VERT REIN	W	FOOTING	
6'-0"	3'-0"	#5 @ 32" OC	1'-6"	1'-6"	
8'-0"	4'-0"	#5 @ 24" OC	1'-6"	1'-6"	

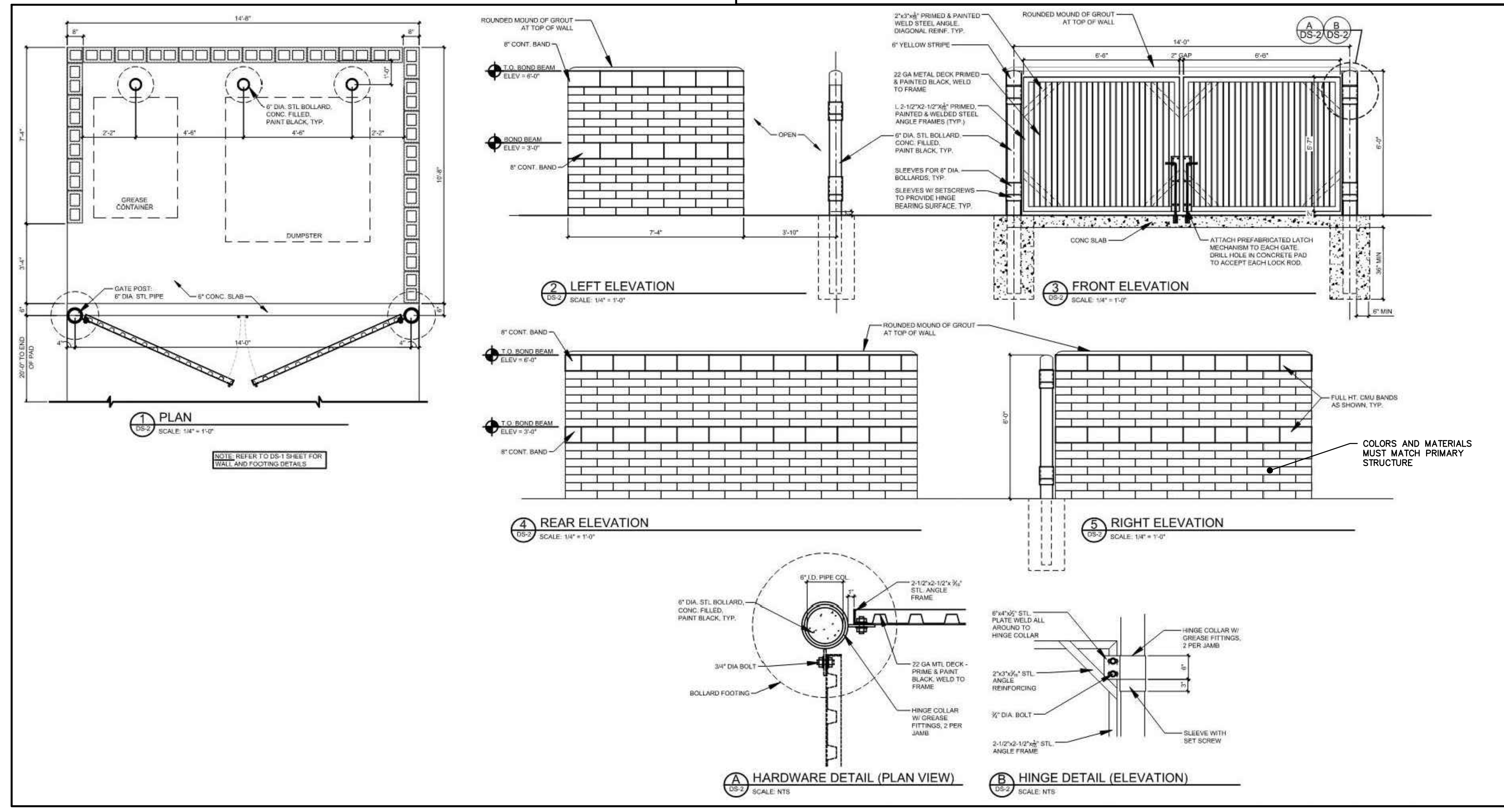
ADDITIONAL REMARKS:

- ALL CAST IN PLACE CONCRETE TO BE MIN Fc=3000 PSI, 28 DAY COMPRESSION STRENGTH, MIN. SLUMP = 3" FOR SLABS AND FOOTINGS
- ALL CMU TO BE 8" BLOCK (NO MIN Fm=1500 PSL NET COMPRESSIVE STRENGTH)
- ALL MORTAR TO BE "TYPE S"
- GROUT ALL CELLS BELOW GRADE & ALL REIN CELLS W/ 2000 PSI GROUT. SLUMP = 9" - 11"
- ALL REINFORCING STEEL TO BE GRADE 60
- ASSUMED MINIMUM ALLOWABLE SOIL BEARING PRESSURE IS 1500 PSF. THIS SHOULD BE VERIFIED BY GEOTECHNICAL REPORT IF AVAILABLE.
- SEE TITLEBLOCK FOR INLAND/COASTAL DESIGNATION AND USE APPROPRIATE TABLE FOR DIMENSIONS AND REINFORCEMENT
- ALL INLAND WALLS IN SEISMIC DESIGN CATEGORY "A", "B", OR "C" SHALL BE CONSTRUCTED PER THE INLAND SCHEDULE.
- ALL INLAND WALLS IN SEISMIC DESIGN CATEGORY "D" SHALL BE CONSTRUCTED PER THE COASTAL SCHEDULE.
- 6" DIA. STEEL STOPS SHALL BE SET A MINIMUM OF 36" INTO CONCRETE.
- DUMPSTER ENCLOSURE CONSTRUCTION TO MATCH BUILDING CONSTRUCTION, U.N.O.
- ALL MASONRY TO BE "QUICK BRK" TO MATCH BUILDING (8" x 8" x 16").
- BOND BEAMS TO BE "QUICK BRK" 8" x 8" x 16".

1 Dumpster Enclosure Wall
SCALE: 1/4" = 1'-0"

LOCATION: ANYTOWN, USA
DATE: 10/5/21
SCALE: 1 OF 2

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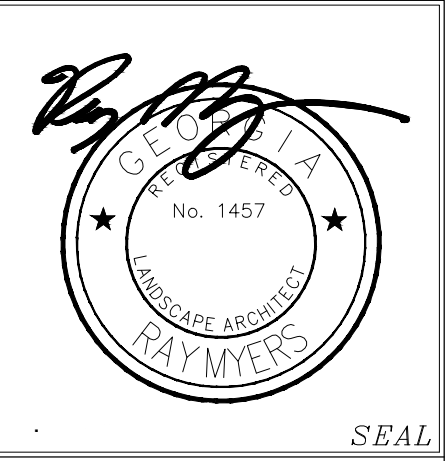
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3	04.21.23	BENCH ADDED

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CHECK: BHR
JOB NO: 22-331
DATE: 01/12/23

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03.28.23
04.21.23



LANDSCAPE PLAN

WAFFLE HOUSE
SENOIA, GEORGIA

DATE	01-12-23
JOB NO.	2014049
SCALE	1"=20'-0"
DRAWN BY	RM
CHKD BY	RM

DISCLAIMER
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RAA DESIGN

Notes:
ALL LANDSCAPING SHALL BE IN PLACE PRIOR TO THE CONNECTION OF PERMANENT POWER OR RECORDING OF A FINAL PLAT.

CONTACT THE CITY MANAGER 770-599-3679 FOR A SITE INSPECTION UPON COMPLETION OF LANDSCAPE INSTALLATION.

IF THE LANDSCAPE DESIGN OR PLANT MATERIAL ARE CHANGED IN ANY WAY FROM THE SENOIA CITY PERMITTED PLAN, YOU SHALL SUBMIT TWO SETS OF REVISED PLANS TO THE CITY ARBORIST'S OFFICE FOR APPROVAL PRIOR TO ANY LANDSCAPE INSTALLATION.

CONTACT SENOIA CITY HALL AT 770-599-3679 TO ARRANGE A PRE-CONSTRUCTION CONFERENCE WITH THE CITY ARBORIST OR DESIGNATED AGENT(S) PRIOR TO ANY LAND DISTURBANCE.

ALL TREE PROTECTION AND EROSION CONTROL MEASURES MUST BE INSTALLED PRIOR TO GRADING.

UNDISTURBED BUFFERS SHALL BE REPLANTED TO BUFFER STANDARDS WHERE SPARSELY VEGETATED OR WHERE DISTURBED AT APPROVED UTILITY CROSSINGS. REPLANTINGS ARE SUBJECT TO CITY ARBORIST OR DESIGNATED AGENT(S) APPROVAL.

APPROVED BY PLANNING COMMISSION

DATE: _____

BY: _____

LANDSCAPE REQUIREMENTS:

PARKING LOT REQUIREMENT
PARKING LOT AREA = 4,478 SF
PARKING LOT LANDSCAPE AREA REQUIRED = 4,478 x .08 = 358 SF
PARKING LOT LANDSCAPE AREA PROPOSED = 380 SF (REQUIREMENT MET)

EXISTING TREES REQUIREMENT
EXISTING TREES WITH 12" OR LARGER DBH = 16
20% OF EXISTING TREES WITH 12" OR LARGER DBH REQUIRED TO REMAIN = 3
EXISTING TREES WITH 12" OR LARGER DBH PROPOSED TO REMAIN = 5 (REQUIREMENT MET)

DISTURBED AREA REQUIREMENT
1, 2.5" CAL CANOPY TREE AND 1, 1.5" UNDERSTORY TREE REQUIRED FOR EVERY 1,000 SF OF PERMANENTLY DISTURBED AREA ON THE SITE.

PERMANENTLY DISTURBED AREA ON SITE = 12,956 SF
2.5" CAL CANOPY TREES REQUIRED = 13
7, 2.5" CAL TREES PROPOSED, PLUS 6 EXISTING TREES TO REMAIN = 13 (REQUIREMENT MET)

1.5" UNDERSTORY TREES REQUIRED = 13
13, 1.5" CAL TREES PROPOSED (REQUIREMENT MET)

LANDSCAPE STRIPS DENSITY REQUIREMENT
AT LEAST 60% SPATIAL COVERAGE OF TREES AND SHRUBS
LANDSCAPE AREA = 6,183 SF

PROPOSED SPATIAL COVERAGE OF PLANTINGS INSIDE LANDSCAPE STRIPS = 5,065 (82%)(REQUIREMENT MET)

LANDSCAPE AREA REQUIREMENT PLANTING REQUIREMENT
ONE TREE FOR EVERY 250 SF OF LANDSCAPE AREA ; THREE SHRUBS FOR EVERY ONE TREE

LANDSCAPE AREA = 6,183 SF
25 TREES AND 75 SHRUBS REQUIRED

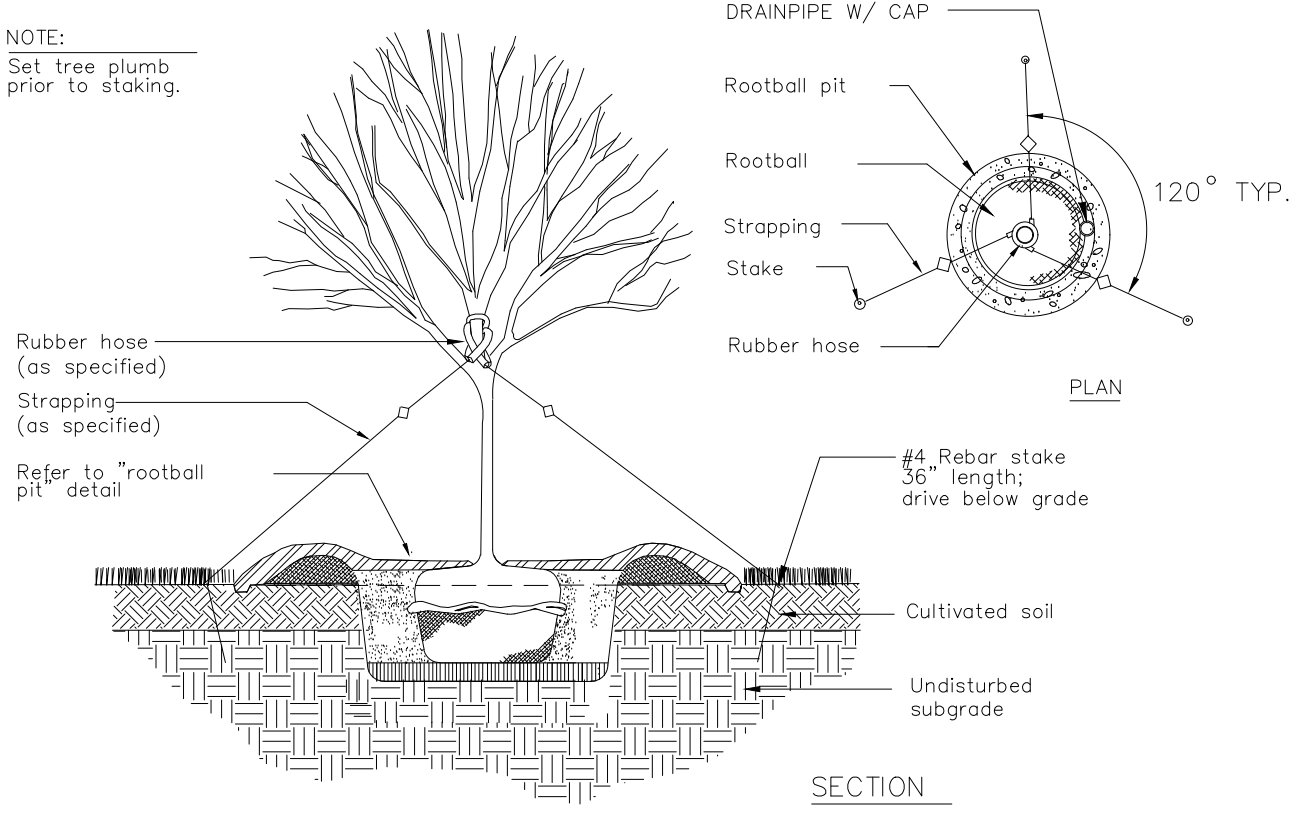
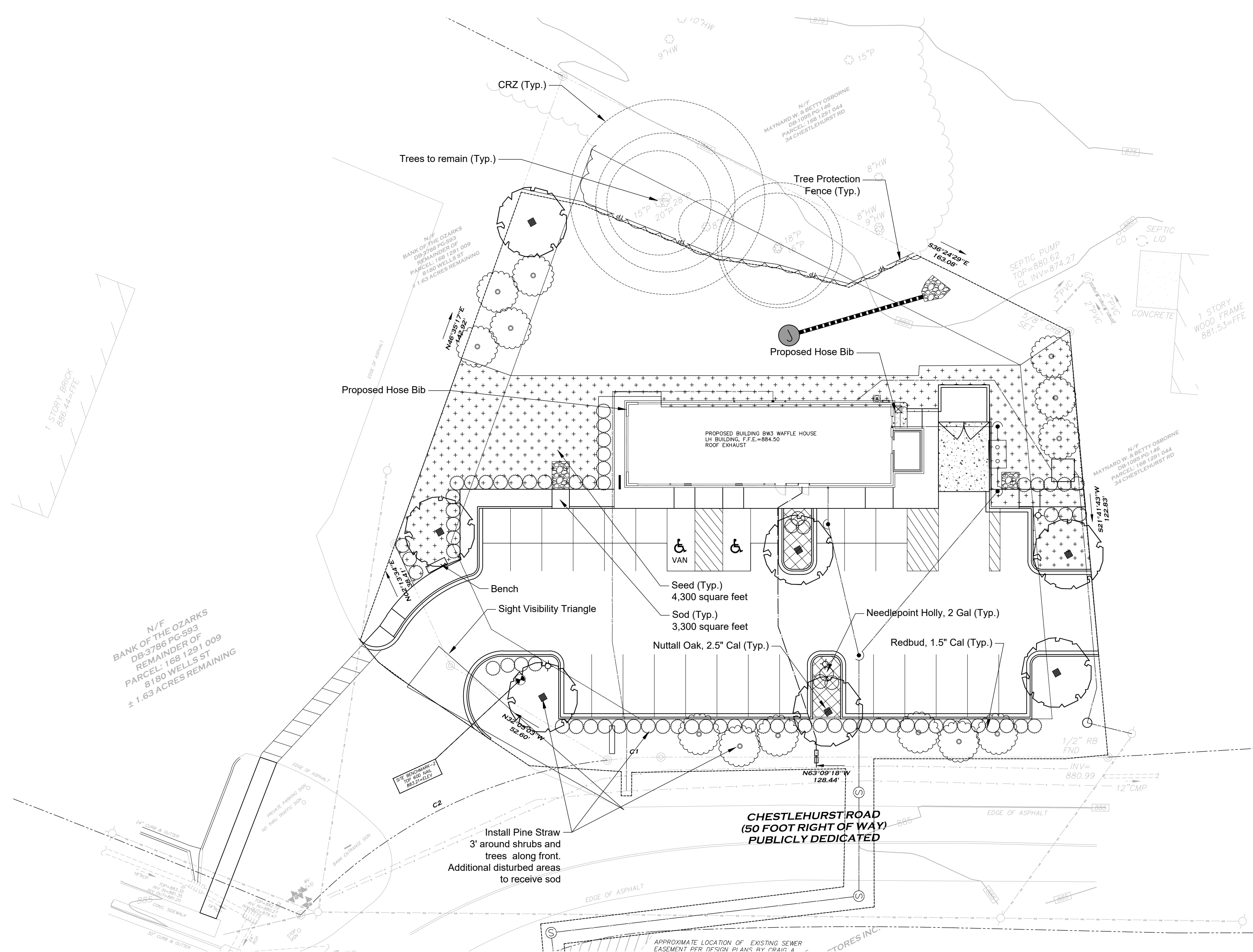
EXISTING TREES = 5 ; PROPOSED TREES = 20 ; TOTAL TREES ON SITE = 25 (REQUIREMENT MET)

Plant Schedule

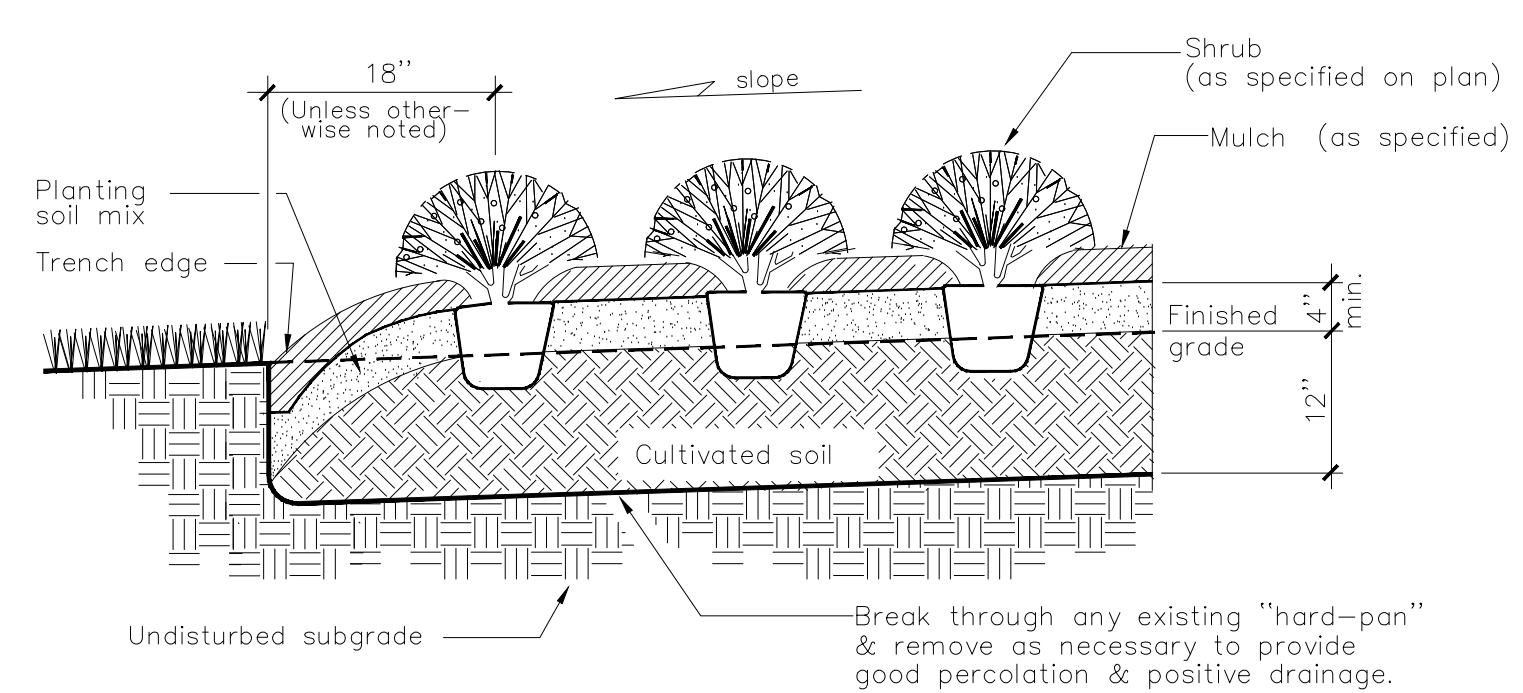
Qty.	Sym.	Botanical Name	Common Name	Size	Hgt.	Width	Root	Notes
7	○	Quercus nuttallii	Nuttall Oak	2.5" cal.	10'			
13	○	Cercis canadensis	Redbud	1.5" cal.	6'			
75	○	Ilex comuta 'Needlepoint'	Needlepoint Holly	2 Gal				
3300 sf	■	Sod						
4300 sf	■	Seed						
4300 sf	■	Pine Straw						

GENERAL PLANTING NOTES

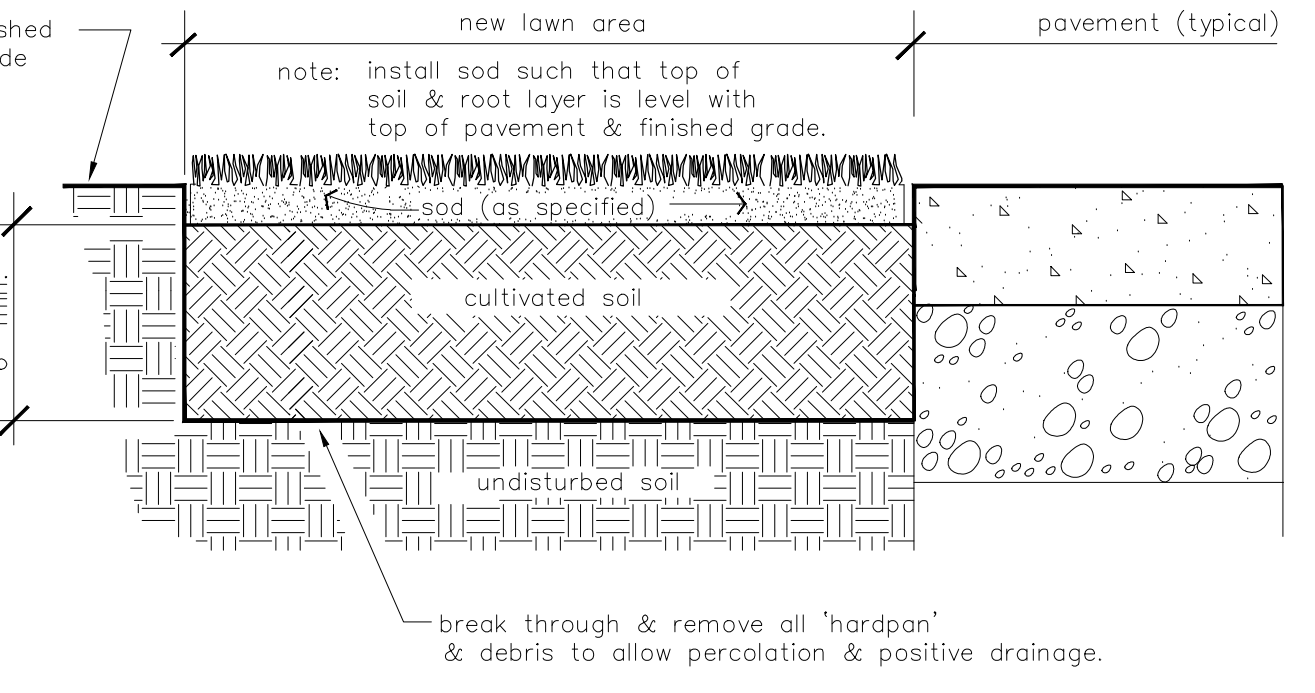
- All plants must be healthy, vigorous material, free of pests and disease.
- All plants must be container-grown or balled and burlapped (B&B) as indicated in the plant list.
- All trees must be straight trunked, full headed and meet all requirements as specified.
- All plants are subject to the approval of the Landscape Architect and the Owner before, during, and after installation.
- All trees must be guyed or staked as shown in the details.
- All plants and planting areas must be completely mulched as specified.
- Prior to construction, the Landscape Contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of work. The Landscape Contractor is responsible for repairing any and all damage to utilities, structures, site appurtenances, etc. which occurs as a result of the landscape construction.
- The Landscape Contractor is responsible for verifying all quantities shown on these plans before pricing the work.
- The Landscape Contractor is responsible for fully maintaining all planting (including, but not limited to: watering, spraying, mulching, fertilizing, etc.) of planting areas and lawns until the work is accepted in total by the Landscape Architect and the Owner.
- The Landscape Contractor shall completely guarantee all plant material for a period of one (1) year beginning at the date of final acceptance. The Landscape Contractor shall promptly make all replacements before or at the end of the guarantee period (as per direction of the Owner).
- The Owner agrees to perform all landscape maintenance (including watering) throughout the one year guarantee period unless otherwise determined.
- The Landscape Architect will approve the staked location of all plant material prior to installation.
- After being dug at the nursery source, all trees in leaf shall be acclimate for two (2) weeks under a mist system prior to installation.
- Any plant material which dies, turns brown, or defoliates (prior to total acceptance of work) shall be promptly removed from the site and replaced with material of the same species, quantity, size and meeting all plant list specifications.
- Standards set forth in 'American Standards for Nursery Stock' represent guideline specifications only, and constitute a minimum quality requirements for plant material.



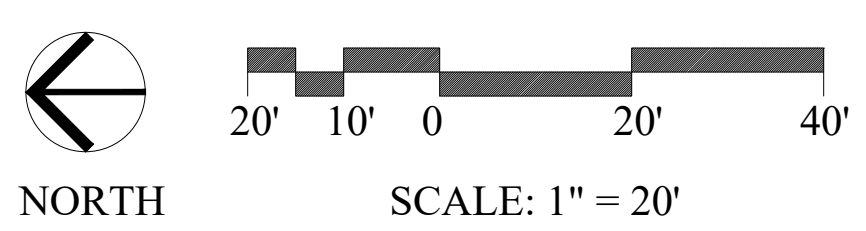
TREE STAKING & GUYING
N.T.S.



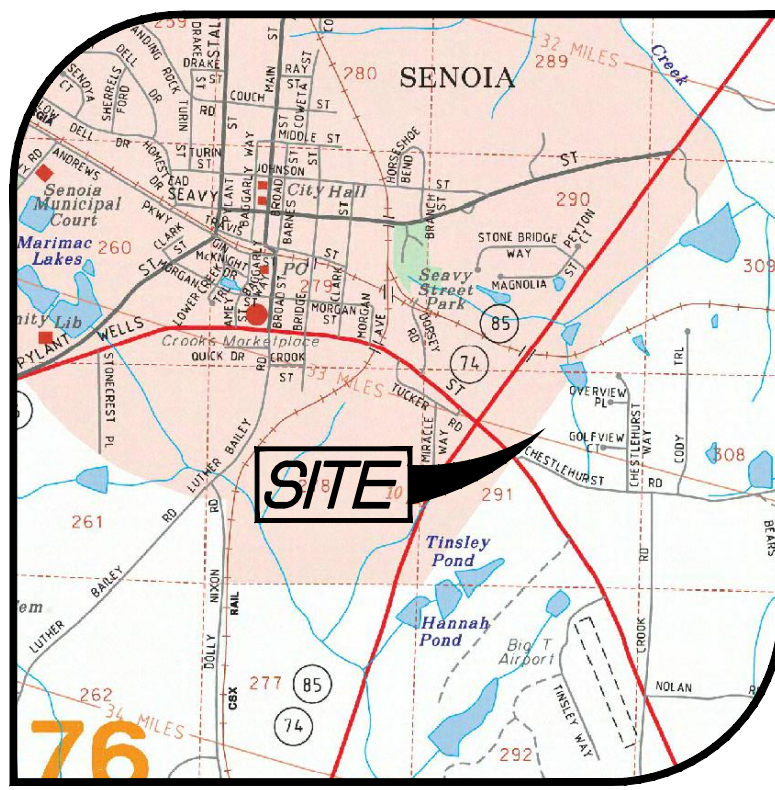
SHRUB PLANTING
N.T.S.



SOD INSTALLATION
N.T.S.



Date: Apr. 24, 2023, 9:31am, User: ID: rmyers
File: D:\Dropbox (Continuo-Master) (P-Drive) \Projects\2022\22-231 - WH - Senoia, GA NEW BUILD\Landscape\WHL_Senoia_GA_23-28-23.dwg



VICINITY MAP
SURVEY NOTES

- 1) PROPERTY SHOWN HEREON WAS SURVEYED DECEMBER 19, 2022.
2) THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1" IN 37,491' WITH AN ANGULAR ERROR OF 3.21 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD.
3) A SOKKIA IX TOTAL STATION, CARLSON BRX7 GPS RECEIVER, AND CARLSON SURVEYOR+ DATA COLLECTOR WERE USED FOR FIELD SURVEY MEASUREMENTS.
4) THIS PLAT HAS A MAP CLOSURE OF 1" IN 100,000'.
5) SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X ON FLOOD INSURANCE RATE MAP NO. 13077C0291D, WITH A DATE OF IDENTIFICATION OF FEBRUARY 06, 2013, FOR COMMUNITY NUMBER 130301, IN THE CITY OF SENOIA, STATE OF GEORGIA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.
6) CONTROL AND BEARING BASIS FOR THIS SURVEY WERE ESTABLISHED USING A CARLSON BRX7 GPS RECEIVER UTILIZING OPUS-S FOR POST PROCESSING. THE RELATIVE POSITIONAL ACCURACY, AS CALCULATED ACCORDING TO THE FEDERAL GEOGRAPHIC DATA COMMITTEE PART 3, NATIONAL STANDARD FOR SPATIAL DATA ACCURACY, IS .03 FEET HORIZONTAL AND .05 FEET VERTICAL AT THE 95% CONFIDENCE LEVEL.
7) UTILITIES SHOWN PER MARKINGS PLACED BY UTILITY-MARKING, L.L.C., UTILITIES OTHER THAN THOSE SHOWN HEREON MAY EXIST. LOWERY & ASSOCIATES MAKES NO GUARANTEE AS TO THE EXISTENCE OR NON-EXISTENCE OF SAID UTILITIES.
8) NO OBSERVED EVIDENCE OF CEMETERIES, GRAVESITES, AND/OR BURIAL GROUNDS AT TIME OF SURVEY.
9) PROPERTY SHOWN HEREON LIES WITHIN THE RECORD DESCRIPTION AS STATED IN GENERAL WARRANTY DEED RECORDED IN DEED BOOK 3786, PAGE 593, COWETA COUNTY RECORDS.
10) THIS DESCRIBES THE SAME PROPERTY AS DESCRIBED IN FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO: NCS-1141861-ORL, DATED JULY 29, 2022 AT 8:00 AM.
11) NO ENCROACHMENTS OTHER THAN THOSE SHOWN HEREON WERE OBSERVABLE AT TIME OF SURVEY.
12) AT THE TIME OF THE SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
13) AT THE TIME OF THE SURVEY THERE WERE NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES OR OBSERVABLE EVIDENCE OF STREET OR SIDEWALK REPAIRS.
14) AT THE TIME OF THE SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF THE SITE BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
15) SUBJECT PROPERTY HAS DIRECT ACCESS TO CHESTLEHURST ROAD, BEING A PUBLICLY DEDICATED RIGHT OF WAY.
16) SUBJECT PROPERTY IS CONTIGUOUS TO ALL ADJACENT PROPERTIES AND RIGHTS OF WAY. NO GAPS, GORES, OR OVERLAPS ARE KNOWN TO EXIST.

ZONING

PER ITEMS 6(A) AND 6(B) OF THE 2021 ALTA/NSPS LAND TITLE SURVEY MINIMUM STANDARD DETAIL REQUIREMENTS, SETBACKS, AND OTHER ZONING RESTRICTIONS/REQUIREMENTS CANNOT BE LISTED UNLESS A ZONING REPORT OR LETTER STATING SAID RESTRICTIONS/REQUIREMENTS IS PROVIDED.

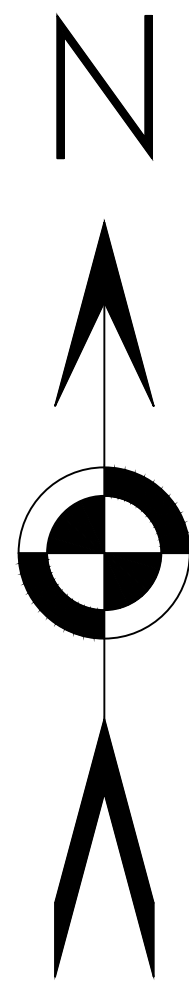
SURVEYOR'S CERTIFICATION

AS REQUIRED BY SUBSECTION (D) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR. THIS PLAT HAS BEEN APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS THAT REQUIRE PRIOR APPROVAL FOR RECORDING THIS TYPE OF PLAT OR ONE OR MORE OF THE APPLICABLE LOCAL JURISDICTIONS DO NOT REQUIRE APPROVAL OF THIS TYPE OF PLAT. FOR ANY APPLICABLE LOCAL JURISDICTION THAT REQUIRES APPROVAL OF THIS TYPE OF PLAT, THE NAMES OF THE INDIVIDUALS SIGNING OR APPROVING THIS PLAT, THE AGENCY OR OFFICE OF THAT INDIVIDUAL, AND THE DATE OF APPROVAL ARE LISTED IN THE APPROVAL TABLE SHOWN HEREON. FOR ANY APPLICABLE LOCAL JURISDICTION THAT DOES NOT REQUIRE APPROVAL OF THIS TYPE OF PLAT, THE NAME OF SUCH LOCAL JURISDICTION AND THE NUMBER OF THE APPLICABLE ORDINANCE OR RESOLUTION PROVIDING THAT NO SUCH APPROVAL IS REQUIRED ARE LISTED IN THE APPROVAL TABLE SHOWN HEREON. SUCH APPROVALS, AFFIRMATIONS, OR ORDINANCE OR RESOLUTION NUMBERS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

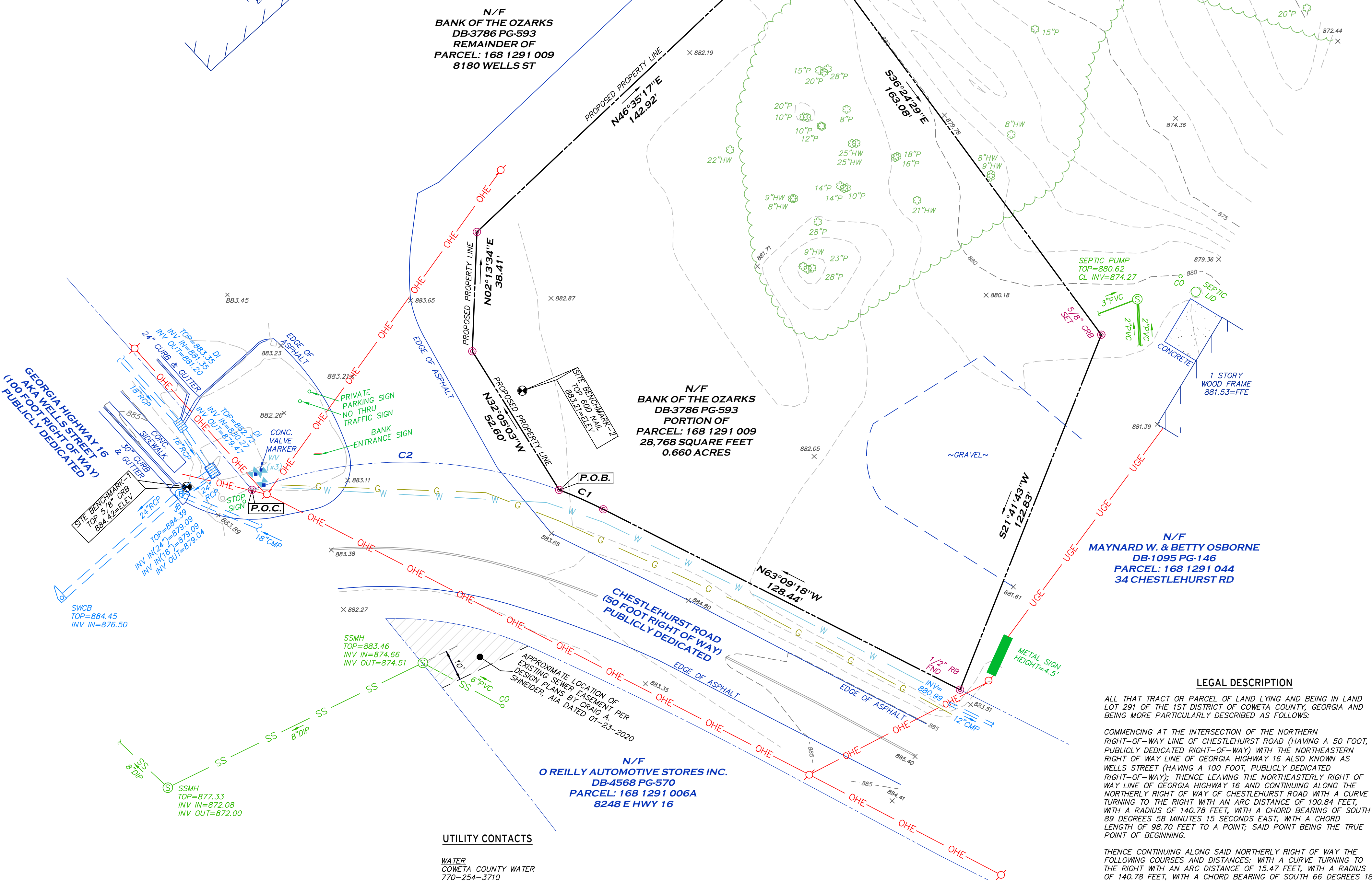
TO WAFFLE HOUSE, INC., A GEORGIA CORPORATION AND FIRST AMERICAN TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-5, 6(B), 7(A), 8-9, 11(A), 13, 16-18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON AUGUST 31, 2022.

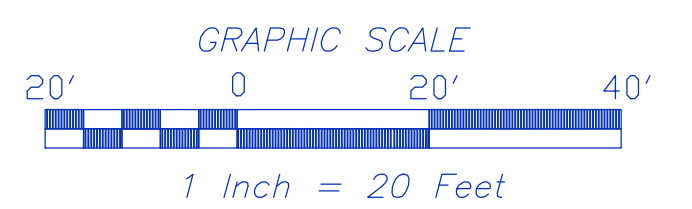
MITCHELL LOWERY, Georgia No. 3109, Registered Land Surveyor. DATE OF PLAT OR MAP: MARCH 16, 2023.



GRID NORTH
GA WEST
(SURVEY NOTE 6)



CURVE TABLE with columns: CURVE, RADIUS, ARC LENGTH, CHORD LENGTH, CHORD BEARING. Includes data for curves C1 and C2.



UTILITY CONTACTS

- WATER: COWETA COUNTY WATER 770-254-3710
CITY OF SENOIA 770-599-8922
GAS: ATLANTA GAS LIGHT NEWMAN 470-366-6639
POWER: COWETA FAYETTE EMC 770-252-7448
COMMUNICATION: ATT / D 305-409-1542, COMCAST 678-708-7112

TITLE EXCEPTIONS
FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO.: NCS-1141861-ORL COMMITMENT DATE: JULY 29, 2022 AT 8:00 AM
12. RIGHT-OF-WAY EASEMENT FROM W. B. TINSLEY, JR. TO GEORGIA POWER COMPANY, DATED FEBRUARY 9, 1948 AND RECORDED MAY 14, 1948 IN DEED BOOK 50, PAGE 201, RECORDS OF THE SUPERIOR COURT OF COWETA COUNTY, GEORGIA. SAID DOCUMENT DESCRIBES AN EASEMENT FOR AN ELECTRIC LINE. ALSO INCLUDES THE RIGHT OF ENTRY TO ACCESS SAID LINE. SAID EASEMENT IS VAGUE IN DESCRIPTION, UNABLE TO DETERMINE RELATIONSHIP TO SUBJECT PROPERTY. SAID EASEMENT AND RIGHTS MAY AFFECT THE SUBJECT PROPERTY.
13. EASEMENT FROM W. B. TINSLEY TO GEORGIA POWER COMPANY, DATED FEBRUARY 9, 1948, FILED FEBRUARY 24, 1950 AND RECORDED IN DEED BOOK 58, PAGE 39, AFORESAID RECORDS. SAID DOCUMENT DESCRIBES AN EASEMENT FOR AN ELECTRIC LINE. ALSO INCLUDES THE RIGHT OF ENTRY TO ACCESS SAID LINE. SAID EASEMENT IS VAGUE IN DESCRIPTION, UNABLE TO DETERMINE RELATIONSHIP TO SUBJECT PROPERTY. SAID EASEMENT AND RIGHTS MAY AFFECT THE SUBJECT PROPERTY.
14. RIGHT-OF-WAY EASEMENT FROM MRS. W. B. TINSLEY TO GEORGIA POWER COMPANY, DATED NOVEMBER 2, 1951 AND RECORDED NOVEMBER 8, 1951 IN DEED BOOK 60, PAGE 235, AFORESAID RECORDS. SAID DOCUMENT DESCRIBES AN EASEMENT FOR AN ELECTRIC LINE. ALSO INCLUDES THE RIGHT OF ENTRY TO ACCESS SAID LINE. SAID EASEMENT IS VAGUE IN DESCRIPTION, UNABLE TO DETERMINE RELATIONSHIP TO SUBJECT PROPERTY. SAID EASEMENT AND RIGHTS MAY AFFECT THE SUBJECT PROPERTY.
15. RIGHT-OF-WAY EASEMENT FROM MRS. W. B. TINSLEY TO GEORGIA POWER COMPANY, DATED NOVEMBER 29, 1951 AND RECORDED DECEMBER 4, 1951 IN DEED BOOK 60, PAGE 245, AFORESAID RECORDS. SAID DOCUMENT DESCRIBES AN EASEMENT FOR AN ELECTRIC LINE. ALSO INCLUDES THE RIGHT OF ENTRY TO ACCESS SAID LINE. SAID EASEMENT IS VAGUE IN DESCRIPTION, UNABLE TO DETERMINE RELATIONSHIP TO SUBJECT PROPERTY. SAID EASEMENT AND RIGHTS MAY AFFECT THE SUBJECT PROPERTY.
16. EASEMENT FROM MRS. MARGARET TINSLEY TO GEORGIA POWER COMPANY, DATED OCTOBER 30, 1952 AND RECORDED DECEMBER 19, 1952 IN DEED BOOK 63, PAGE 217, AFORESAID RECORDS. SAID DOCUMENT DESCRIBES AN EASEMENT FOR AN ELECTRIC LINE. ALSO INCLUDES THE RIGHT OF ENTRY TO ACCESS SAID LINE. SAID EASEMENT IS VAGUE IN DESCRIPTION, UNABLE TO DETERMINE RELATIONSHIP TO SUBJECT PROPERTY. SAID EASEMENT AND RIGHTS MAY AFFECT THE SUBJECT PROPERTY.
17. EASEMENT FROM W. B. TINSLEY TO GEORGIA POWER COMPANY, DATED APRIL 25, 1962, FILED APRIL 26, 1962 AND RECORDED IN DEED BOOK 106, PAGE 124, AFORESAID RECORDS. SAID DOCUMENT DESCRIBES AN EASEMENT FOR AN ELECTRIC LINE. ALSO INCLUDES THE RIGHT OF ENTRY TO ACCESS SAID LINE. SAID EASEMENT IS VAGUE IN DESCRIPTION, UNABLE TO DETERMINE RELATIONSHIP TO SUBJECT PROPERTY. SAID EASEMENT AND RIGHTS MAY AFFECT THE SUBJECT PROPERTY.
18. EASEMENTS AS CONTAINED IN THAT CERTAIN UNDATED RIGHT OF WAY DEED FROM W. B. TINSLEY, ET AL. TO COWETA COUNTY, A POLITICAL SUBDIVISION OF THE STATE OF GEORGIA, FILED NOVEMBER 19, 1969 AND RECORDED IN DEED BOOK 170, PAGE 88, AFORESAID RECORDS. SAID DOCUMENT DESCRIBES A CONVEYANCE OF PROPERTY FOR AN 80-FOOT RIGHT OF WAY. SAID CONVEYANCE DOES NOT AFFECT THE SUBJECT PROPERTY.
19. RIGHT-OF-WAY EASEMENT FROM MAYNARD OSBORNE TO GEORGIA POWER COMPANY, DATED JUNE 12, 1980, FILED AUGUST 14, 1980 AND RECORDED IN DEED BOOK 319, PAGE 505, AFORESAID RECORDS. SAID DOCUMENT DESCRIBES AN EASEMENT FOR AN ELECTRIC LINE. ALSO INCLUDES THE RIGHT OF ENTRY TO ACCESS SAID LINE. SAID EASEMENT IS VAGUE IN DESCRIPTION, UNABLE TO DETERMINE RELATIONSHIP TO SUBJECT PROPERTY. SAID EASEMENT AND RIGHTS MAY AFFECT THE SUBJECT PROPERTY.
20. CONVEYANCE OF ACCESS RIGHTS FROM FARMERS & MERCHANTS BANK OF SENOIA TO THE DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA, DATED JUNE 25, 1985, FILED SEPTEMBER 10, 1985 AND RECORDED IN DEED BOOK 388, PAGE 450, AFORESAID RECORDS. SAID DOCUMENT DESCRIBES A CONVEYANCE OF ACCESS RIGHTS ALONG STATE ROUTE 16. SAID CONVEYANCE DOES NOT AFFECT SUBJECT PROPERTY.
21. EASEMENT AGREEMENT BY AND BETWEEN FARMERS AND MERCHANTS COMMUNITY BANK F/K/A FARMERS AND MERCHANTS BANK OF SENOIA AND THE CITY OF SENOIA, DATED DECEMBER 18, 2002, FILED DECEMBER 20, 2002 AND RECORDED IN DEED BOOK 2067, PAGE 138, AFORESAID RECORDS. SAID DOCUMENT DESCRIBES A 20-FOOT-WIDE SANITARY SEWER EASEMENT. SAID EASEMENT DOES NOT AFFECT SUBJECT PROPERTY.
22. CONSTRUCTION AND MAINTENANCE EASEMENT FROM FIRST CHOICE COMMUNITY BANK 1874 F/K/A FARMERS AND MERCHANTS COMMUNITY BANK F/K/A FARMERS AND MERCHANTS BANK OF SENOIA TO THE DEPARTMENT OF TRANSPORTATION, DATED JULY 26, 2007, FILED JULY 31, 2007 AND RECORDED IN DEED BOOK 3228, PAGE 53, AFORESAID RECORDS. SAID DOCUMENT DESCRIBES AN EASEMENT FOR THE CONSTRUCTION AND MAINTENANCE OF SLOPES. SAID EASEMENT DOES NOT AFFECT SUBJECT PROPERTY.
23. JOINT DEVELOPMENT AND EASEMENT AGREEMENT BY AND AMONG MCDONALD'S USA, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND FIRST CHOICE COMMUNITY BANK 1874, MAYNARD OSBORNE AND BETTY OSBORNE, DATED JULY 24, 2007, FILED AUGUST 1, 2007 AND RECORDED IN DEED BOOK 3228, PAGE 53, AFORESAID RECORDS. SAID DOCUMENT DESCRIBES A DEVELOPMENT AGREEMENT AND AN ACCESS DRIVEWAY EASEMENT. SAID AGREEMENT AND EASEMENT DOES NOT AFFECT SUBJECT PROPERTY.
24. JOINT USE DRIVEWAY AGREEMENT BY AND AMONG FIRST CHOICE COMMUNITY BANK 1874, MAYNARD OSBORNE AND BETTY OSBORNE, AND THE DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA, JULY 18, 2007, FILED SEPTEMBER 12, 2007 AND RECORDED IN DEED BOOK 3248, PAGE 642, AFORESAID RECORDS. SAID DOCUMENT DESCRIBES A JOINT USE DRIVEWAY AGREEMENT. SAID AGREEMENT DOES NOT AFFECT SUBJECT PROPERTY.
25. ALL MATTERS AFFECTING THE SUBJECT PROPERTY AS SHOWN ON THE FOLLOWING PLAT(S), AFORESAID RECORDS.
(A) PLAT BOOK 32, PAGE 201. -NO ADDITIONAL MATTERS AFFECT SUBJECT PROPERTY.

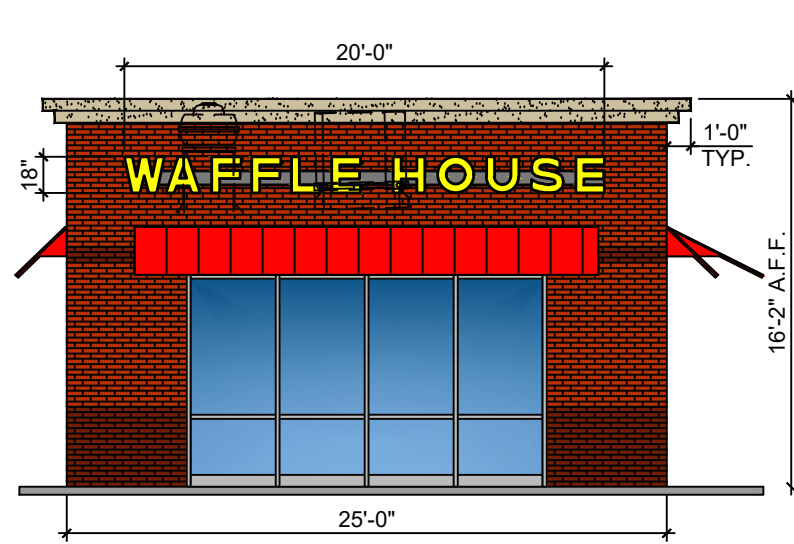
LEGAL DESCRIPTION

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 291 OF THE 1ST DISTRICT OF COWETA COUNTY, GEORGIA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE INTERSECTION OF THE NORTHERN RIGHT-OF-WAY LINE OF CHESTLEHURST ROAD (HAVING A 50 FOOT, PUBLICLY DEDICATED RIGHT-OF-WAY) WITH THE NORTHEASTERN RIGHT OF WAY LINE OF GEORGIA HIGHWAY 16 ALSO KNOWN AS WELLS STREET (HAVING A 100 FOOT, PUBLICLY DEDICATED RIGHT-OF-WAY); THENCE LEAVING THE NORTHEASTLY RIGHT OF WAY LINE OF GEORGIA HIGHWAY 16 AND CONTINUING ALONG THE NORTHERLY RIGHT OF WAY OF CHESTLEHURST ROAD WITH A CURVE TURNING TO THE RIGHT WITH AN ARC DISTANCE OF 100.84 FEET, WITH A RADIUS OF 140.78 FEET, WITH A CHORD BEARING OF SOUTH 89 DEGREES 58 MINUTES 15 SECONDS EAST, WITH A CHORD LENGTH OF 98.70 FEET TO A POINT; SAID POINT BEING THE TRUE POINT OF BEGINNING.
THENCE CONTINUING ALONG SAID NORTHERLY RIGHT OF WAY THE FOLLOWING COURSES AND DISTANCES: WITH A CURVE TURNING TO THE RIGHT WITH AN ARC DISTANCE OF 15.47 FEET, WITH A RADIUS OF 140.78 FEET, WITH A CHORD BEARING OF SOUTH 66 DEGREES 18 MINUTES 11 SECONDS EAST, WITH A CHORD LENGTH OF 15.46 FEET TO A POINT; SOUTH 63 DEGREES 09 MINUTES 18 SECONDS EAST A DISTANCE OF 128.44 FEET TO A 1/2-INCH REBAR FOUND; THENCE LEAVING SAID RIGHT OF WAY NORTH 21 DEGREES 41 MINUTES 43 SECONDS EAST A DISTANCE OF 122.83 FEET TO A 5/8-INCH MARKED REBAR SET; THENCE NORTH 36 DEGREES 24 MINUTES 29 SECONDS WEST A DISTANCE OF 163.08 FEET TO A POINT; THENCE SOUTH 46 DEGREES 35 MINUTES 17 SECONDS WEST A DISTANCE OF 142.92 FEET TO A POINT; THENCE SOUTH 02 DEGREES 13 MINUTES 34 SECONDS WEST A DISTANCE OF 38.41 FEET TO A POINT; THENCE SOUTH 32 DEGREES 05 MINUTES 03 SECONDS EAST A DISTANCE OF 52.60 FEET TO A POINT ON THE NORTHERN RIGHT OF WAY OF CHESTLEHURST ROAD, SAID POINT BEING THE TRUE POINT OF BEGINNING.
SAID TRACT OR PARCEL OF LAND CONTAINING 0.660 ACRES (28,768 SQUARE FEET).

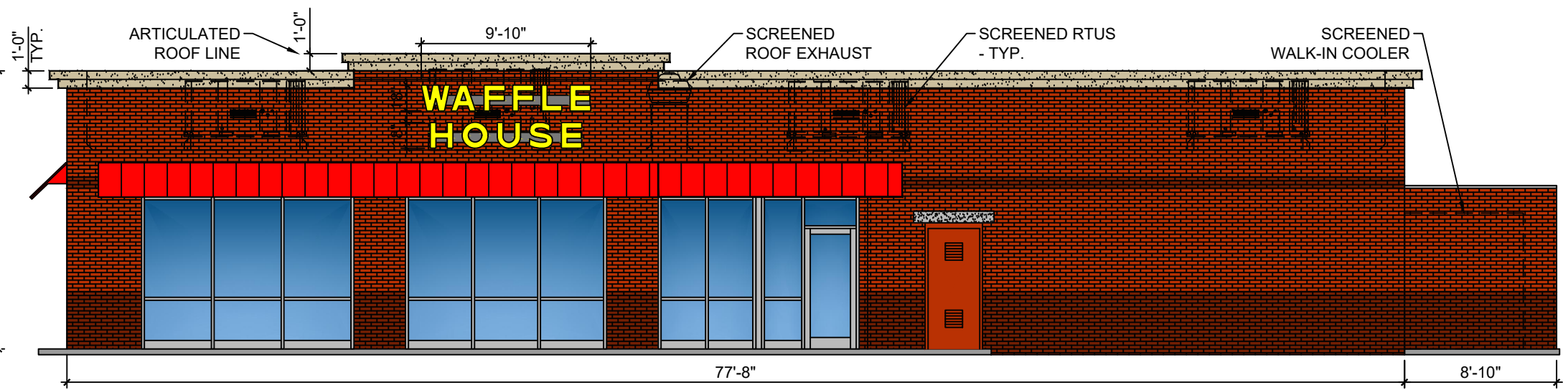
LEGEND

- PROPERTY LINE
OVERHANG/AWNING
RECORD CALLS
BUILDING SETBACK LINE
BUILDING SETBACK LINE
B.S.L.
INDEX CONTOUR
MINOR CONTOUR
SPOT ELEVATION
WATER LINE
OHE OVERHEAD UTILITY LINE
G GAS LINE
SS SANITARY SEWER LINE
UGE UNDERGROUND ELECTRIC LINE
UT UNDERGROUND TELEPHONE LINE
FENCE LINE
WV WATER VALVE
WM WATER METER
FH FIRE HYDRANT
G GAS VALVE
G VALVE
PM POWER METER
SM SANITARY SEWER MANHOLE
RB REBAR
CRB CAPPED REBAR
CWM CONCRETE R/W MONUMENT
FND FOUND
LP LIGHT POLE
S SIGN
HW HARDWOOD TREE
P PINE TREE

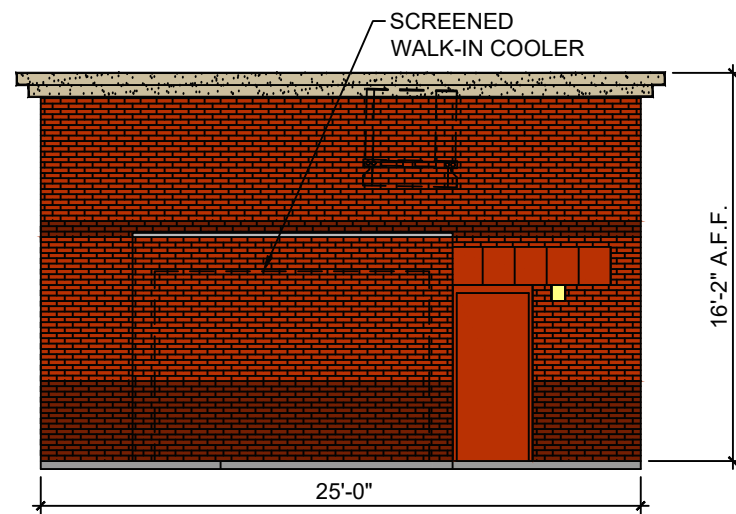
LOWERY & ASSOCIATES LAND SURVEYING, LLC
317 GRASSDALE ROAD
CARTERSVILLE, GA 30121
WWW.LOWERYLANDSURVEYS.COM
INFO@LOWERYLANDSURVEYS.COM
GEORGIA C.O.A.: LSF-00102
PREPARED FOR: WAFFLE HOUSE, INC., A GEORGIA CORPORATION
FIRST AMERICAN TITLE INSURANCE COMPANY
ALTA/NSPS LAND TITLE SURVEY OF: 8190 WELLS STREET, SENOIA, GEORGIA 30276
A PORTION OF PARCEL #661291 009
COUNTY: COWETA
DISTRICT: 1ST
REVISIONS: DATE: DESCRIPTION
01/09/23 - ADD BENCHMARK
03/16/23 - ADD TOPO
DATE: DECEMBER 20, 2022
JOB #: 223940
SCALE: 1"=20'
DRAWN BY: D. HALL



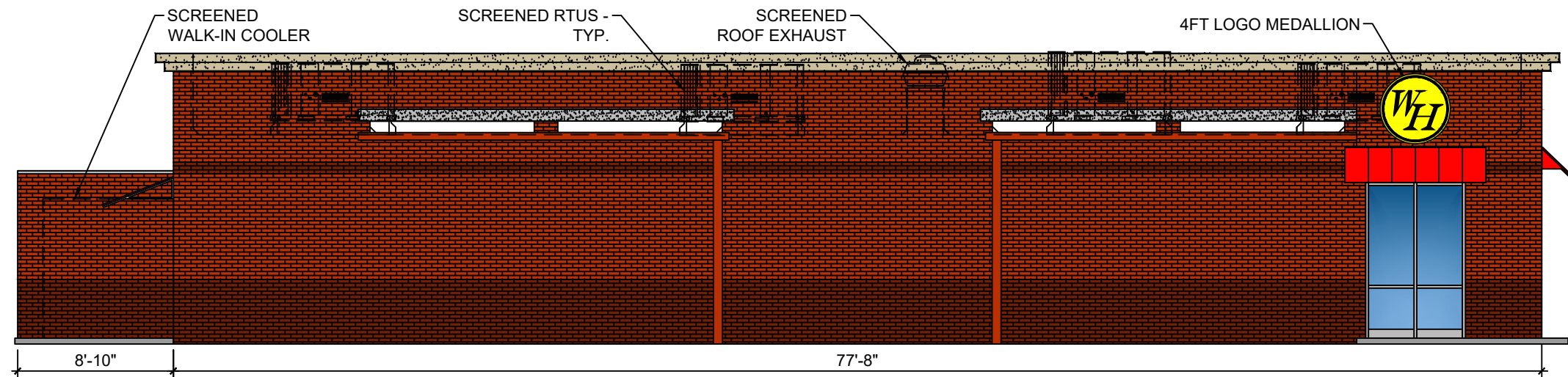
FACING BANK



FACING CHESTLEHURST ROAD



FACING EAST



FACING STORM POND

SCALE: 1/8"=1'-0"

BUILDING DESCRIPTION:

LEFT HAND, MEDIUM PARAPET, BW3 BUILDING
 CLAY BRICK VENEER, DARK BRICK VENEER BASE AND ACCENT STRIPE,
 STEPPED EFIS CORNICE, ARTICULATED ROOF LINE,
 RED STANDING-SEAM METAL AWNING

