

MEMO

TO: Mayor and Council

FROM: Curtis Hindman, Interim Community Development Director

DATE: April 24, 2023

RE: 8190 Wells Street – Waffle House

Construction Plans and Building Elevations – Hwy 85/Hwy 16 Overlay District

Current Zoning – GC

Planning Commission recommended approval of construction plans with the addition of items the applicant agreed to add including: benches/tables in open space, to install golf cart parking in the future when required by City, to record an easement for public access along the sidewalk, and to ensure the brick banding and color on monument sign and dumpster enclosure match the primary structure.

Administrator's Report

The construction plans and elevations for the proposed Waffle House located at 8190 Wells Street have been reviewed by staff and found to meet the requirements for the Hwy 85/Hwy 16 Corridor Overlay District.

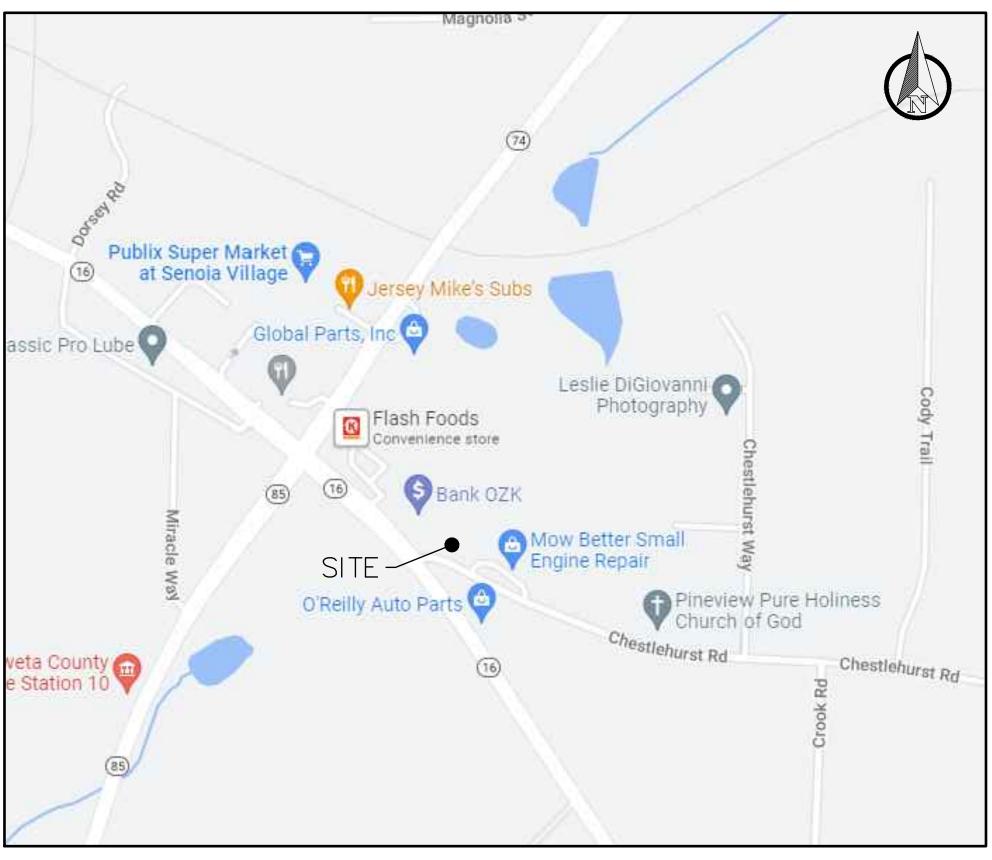
The City previously granted variances to allow all the parking to be located in front of the building with the storm water management facility behind the building in order to save a stand of existing 12-inch and larger trees. During development of the construction plans it was discovered that the sidewalk along Chestlehurst Road would not be feasible and would create a safety hazard with the existing typical section and drainage of the road. As a mitigating solution to this issue, the applicant has proposed an alternate pedestrian connection to the building through the adjacent Bank of the Ozarks tract providing a pedestrian connection to Hwy 16.

Applicant has agreed to add benches/tables in the greenspace, use standard brick sizes, add different heights to the parapet to comply downtown architectural styles, ensure the dumpster enclosure and monument sign match the primary structure brick color and banding and record a public access easement for the sidewalk.

The next step following approval will be building permit and land disturbance permit approval and issuance.

SENOIA, GA

8190 WELLS STREET, **SENOIA, GA 30276**



VICINITY MAP

National Flood Hazard Layer FIRMette With BFE or Depth Zone AE, AO, AH, VE, AR of 1% annual chance flood with average depth less than one foot or with drainag Future Conditions 1% Annual Chance Flood Hazard Zone X Area with Reduced Flood Risk due t (B) 20.2 Cross Sections with 1% Annual Chance <u>17.5</u> Water Surface Elevation Coastal Transect 513 Base Flood Elevation Line (BFE Limit of Study Jurisdiction Bounda --- Coastal Transect Baseli The pin displayed on the map is an approxim point selected by the user and does not repres digital flood maps if it is not void as described below. authoritative NFHL web services provided by FEMA. This map was exported on 12/21/2022 at 8:05 AM and does not time. The NFHL and effective information may change or become superseded by new data over time. elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes. Basemap: USGS National Map: Orthoimagery: Data refreshed October, 2020

FEMA MAP

SITE NOTES:

- 1. COMPLETION OF ALL WORK SHALL BE IN ACCORDANCE THESE PLANS, SPECIFICATIONS, AS WELL AS, WITH FEDERAL, STATE AND LOCAL REGULATIONS. DEVIATION FROM THESE MAY CAUSE THE PROJECT TO BE
- 2. PROJECT TO BE DELIVERED IN ACCORDANCE WITH AMERICANS WITH DISABILITY ACT (ADA) PER FEDERAL, STATE AND LOCAL CODES. 3. PROJECT TO BE DELIVERED IN ACCORDANCE WITH THE UNIFORM TRAFFIC
- CONTROL MANUAL MUTCD), ASHTO, AS WELL AS STATE AND LOCAL
- 4. ARCHITECTURAL PLANS ARE TO GOVERN IN THE AREA WITHIN 5' OF THE BUILDING ENVELOPE. THIS IS TO INCLUDE BUT NOT LIMITED, TO STEPS, STOOPS, SIDEWALKS, RAMPS, HANDRAILS, ETC. SITE CONTRACTOR IS RESPONSIBLE FOR ALL WORK OUTSIDE OF THIS ENVELOPE.
- 5. THE FACE OF CURB AND OUTSIDE FACE OF BUILDING SHALL BE THE DIMENSIONAL REFERENCE FOR ALL SITE MEASUREMENTS AND RADII, UNLESS OTHERWISE NOTED. ALL RADII SHALL BE ASSUMED TO BE 5; WHERE NO DIMENSION IS GIVEN.
- 6. CURB AND GUTTER SHALL BE '8" IN SIZE UNLESS SPECIFIED OTHERWISE.
- 7. EXISTING AND REMAINING FACILITIES, WHETHER ON THE PROPERTY OR ON ADJACENT PROPERTIES, SHALL BE MAINTAINED IN THEIR ORIGINAL CONDITIONS. IF DISTURBED, THESE STRUCTURES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.
- 8. CONTRACTOR IS RESPONSIBLE TO PROVIDING ALL AS—BUILTS AND OTHER CERTIFICATIONS IN ORDER TO CAUSE THE ACCEPTANCE OF THE PROJECT BY THE CLIENT AND RELEASE OF A CERTIFICATE OF OCCUPANCY.
- 9. CONTRACTOR TO VERIFY THE EXISTING CONDITIONS ON WHICH THE PROJECT DESIGNS (ALL PHASES) ARE BASED AND BECOME FAMILIAR WITH ALL NECESSARY INFORMATION, WHETHER ON THE SUBJECT TRACT OR ADJACENT PROPERTIES. IF UNKNOWN CONDITIONS ARE DISCOVERED WHICH JEOPARDIZES THE SCOPE AND DELIVERY OF THE PROJECT, THE CONTRACTOR IS TO PROVIDE IMMEDIATE WRITTEN NOTIFICATION TO THE
- 10. THE CONTRACTOR SHALL DELIVER THE CURB AND GUTTER AT A 28-DAY COMPRESSIVE STRENGTH OF 3,000 PSI.
- 11. THE CONTRACTOR SHALL DELIVER THE PARKING LOT PAINTING AND STRIPING WITH A MINIMUM OF TWO COATS OF PAINT PER PROJECT SPECIFICATIONS.
- 12. ALL EASEMENTS REQUIRED TO COMPLETE THE WORK, BUT NOT PROVIDED BY THE CLIENT, ARE THE RESPONSIBILITY OF THE CONTRACTOR.

GENERAL NOTES:

CONTRACTOR'S RESPONSIBILITY TO INCLUDE, BUT NOT LIMITED TO:

DURING DEMOLITION.

- 1. CAUSE THE WORK TO BE COMPLETED PER FEDERAL, STATE AND LOCAL CODES DURING ALL PHASES OF THE PROJECT.
- 2. VERIFY THE EXISTING CONDITIONS ON WHICH THE PROJECT DESIGNS (ALL PHASES) ARE BASED AND BECOME FAMILIAR WITH ALL NECESSARY INFORMATION, WHETHER ON THE SUBJECT TRACT OR ADJACENT PROPERTIES. IF UNKNOWN CONDITIONS ARE DISCOVERED WHICH JEOPARDIZES THE SCOPE AND DELIVERY OF THE PROJECT, THE CONTRACTOR IS TO PROVIDE IMMEDIATE WRITTEN NOTIFICATION TO THE ENGINEER.
- 3. COORDINATE WITH UTILITY PROVIDERS TO CONFIRM THE LOCATION OF EXISTING AND PROPOSED SERVICES WILL BE ADEQUATE FOR THE DEVELOPMENT. THE ENGINEER DOES NOT ACCEPT RESPONSIBILITY FOR THE ACCURACY O'F THE EXISTING UTILITY LOCATIONS AND PROPOSED LOCATIONS ARE APPROXIMATE IN NATURE.
- 4. CONSTRUCTION LIMITS SHALL BE PROPERLY MARKED AND BARRIERS CREATED AS NECESSARY TO PROTECT CONSTRUCTION PERSONNEL AS WELL AS THE PUBLIC, OSHA AND ALL OTHER GOVERNING STANDARDS.
- 5. PROVISION OF ALL NECESSARY WORK IN ORDER TO CAUSE THE PROJECT TO BE COMPLETED WHETHER OR NOT THE WORK IS SPECIFICALLY DESCRIBED WITHIN THE PROJECT DESIGNS OR REQUIRED BY REGULATION IN THE COURSE OF WORK.
- 6. EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES DURING ALL PHASES OF THE PROJECT.
- 7. DEMOLITION RESPONSIBILITIES: A. CONSTRUCTION DEBRIS AND REFUSE RESULTING FROM DEMOLITION SHALL BE REMOVED FROM THE CONSTRUCTION LOCATION UNDER MEANS THAT ADHERE TO FEDERAL, STATE AND LOCAL REGULATIONS. UNDER NO CIRCUMSTANCES SHALL REFUSE MANAGEMENT COMPROMISE THE DELIVERY SCHEDULE OR QUALITY OF THE B. FEDERAL, STATE AND LOCAL REGULATIONS SHALL BE ADHERED TO AT ALL TIMES
- PRIOR TO DEMOLITION COMMENCEMENT, CONTACT LOCAL "CALL DIG" SERVICES.
- D. PROPER SHORING AND BRACING SYSTEMS SHALL BE UTILIZED FOR ALL EXACTIONS AT ALL TIMES. COMPLETELY FILL ALL EXCAVATIONS AT THE END OF EACH DAY. E. BURNING OF MATERIALS IS PROHIBITED EXCEPT BY PROPER PERMIT FROM GOVERNING AGENCY.
- F. EXISTING AND REMAINING FACILITIES, WHETHER ON THE PROPERTY OR ON ADJACENT PROPERTIES, SHALL BE MAINTAINED IN THEIR ORIGINAL CONDITIONS. IF DISTURBED, THESE STRUCTURES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION. G. EROSION CONTROL MEASURES DURING DEMOLITION PHASE SHALL BE MAINTAINED AT ALL TIMES DURING ALL PHASES OF THE PROJECT, PER FEDERAL, STATE AND LOCAL CODES. NO EARTHMOVING OR DISTURBANCE SHALL BE CAUSED TO HAPPEN UNTIL ALL APPROPRIATE MEASURES HAVE BEEN PUT INTO PLACE.

24-HOUR EMERGENCY CONTACT:

DAVID MITCHELL CELL: (678) 873-6842 EMAIL: DAVIDMITCHELL@WAFFLEHOUSE.COM

OWNER / DEVELOPER

NAME: WAFFLE HOUSE ADDRESS: 5986 FINANCIAL DRIVE, NORCROSS, GA 30071 PHONE: 770-729-5700 CONTACT: SANFORD MCALLISTER EMAIL: SANFORDMCALLISTER@WAFFLEHOUSE.COM

ENGINEER NAME: CONTINEO GROUP, LLC ADDRESS: 755 COMMERCE DRIVE, SUITE 800, DECATUR, GA 30030 JUAN DEL RIO

EMAIL: JUAND@THECONTINEOGROUP.COM

PHONE: 404-399-5192

TO SERVE THE RESTAURANT.

THE PROPOSED DEVELOPMENT CONSISTS IN THE CONSTRUCTION OF A NEW WAFFLE HOUSE BUILDING WITH PARKING AREAS AND ASSOCIATED UTILITIES

SITE SU	MMARY
ZONING DISTRICT	GC(COMMERCIAL CORRIDOR OVERLAY)
JURISDICTION	CITY OF SENOIA
PROPOSED USE	RESTAURANT
PROPOSED LOT AREA	0.66 AC (28,768 SF)
PROPOSED DISTURBED AREA	0.66 AC (28,940 SF)
PROPOSED IMPERVIOUS AREA	0.28 AC (12,197 SF)
PROPOSED BUILDING	2000 SF
FRONT YARD SETBACK	11'(PER APPROVED VARIANCE)
SIDE YARD SETBACK	15'
REAR YARD SETBACK	15'
PARKING STALL DIMENSIONS	9'x18'
PROPOSED PARKING SPACES	27
PARKING REQUIREMENT: 1 SPACE PER 75 SF OF GROSS F 2.000 SF / 75 = 27 SPACES MINI	

SHEET INDEX

APPROVAL OF PLANS SHALL BE EFFECTIVE FOR A PERIOD OF ONE YEAR AND THEREAFTER EXPIRE AND BE NULL AND VOID UNLESS A

TIME EXTENSION IS APPROVED PRIOR TO EXPIRATION.

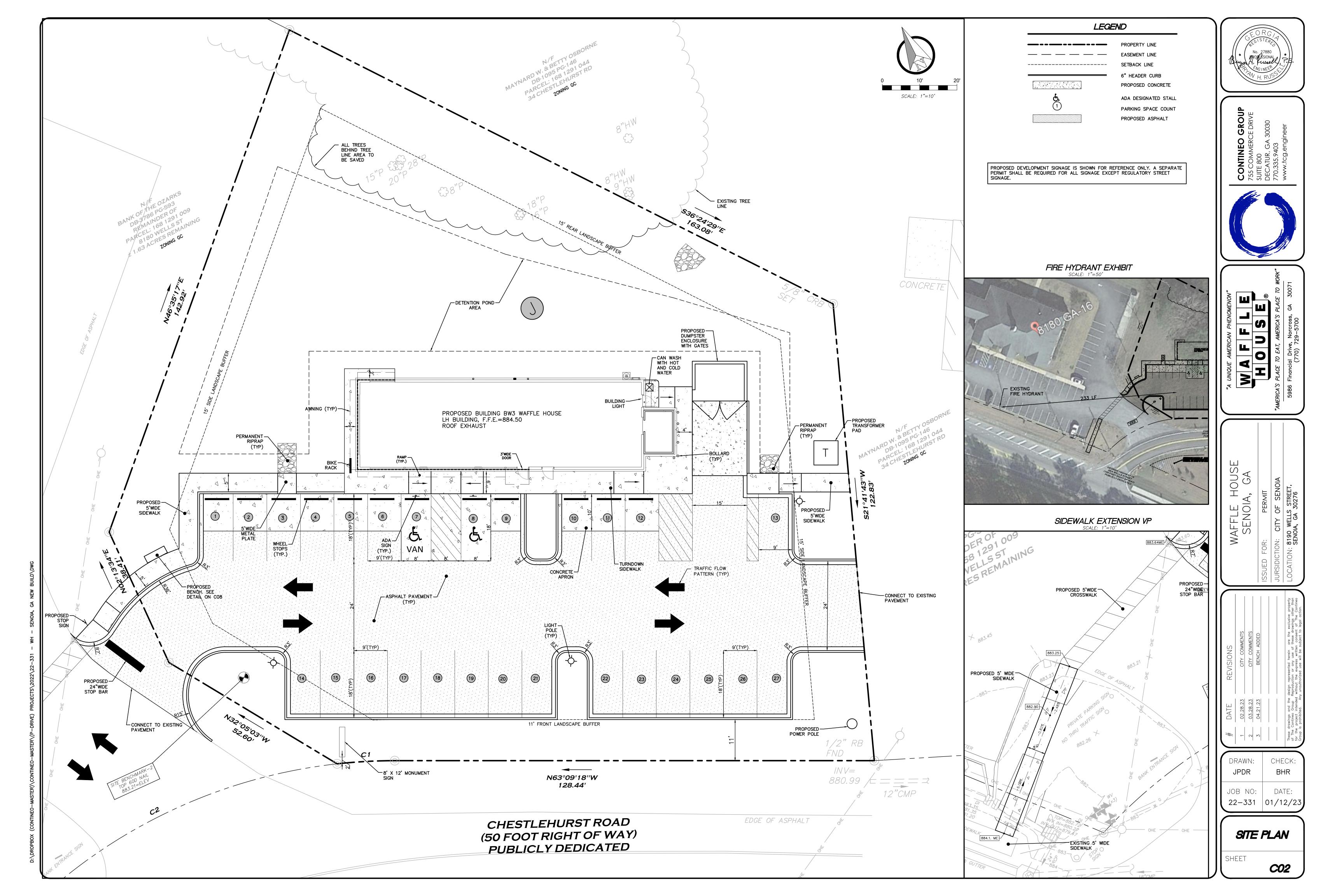
COVER SHEET SITE PLAN GRADING PLAN UTILITY PLAN C05 INITIAL & FINAL EROSION CONTROL PLAN C06 DETAILS 1 DETAILS 2 C08 DETAILS 3 C09 DETAILS 4

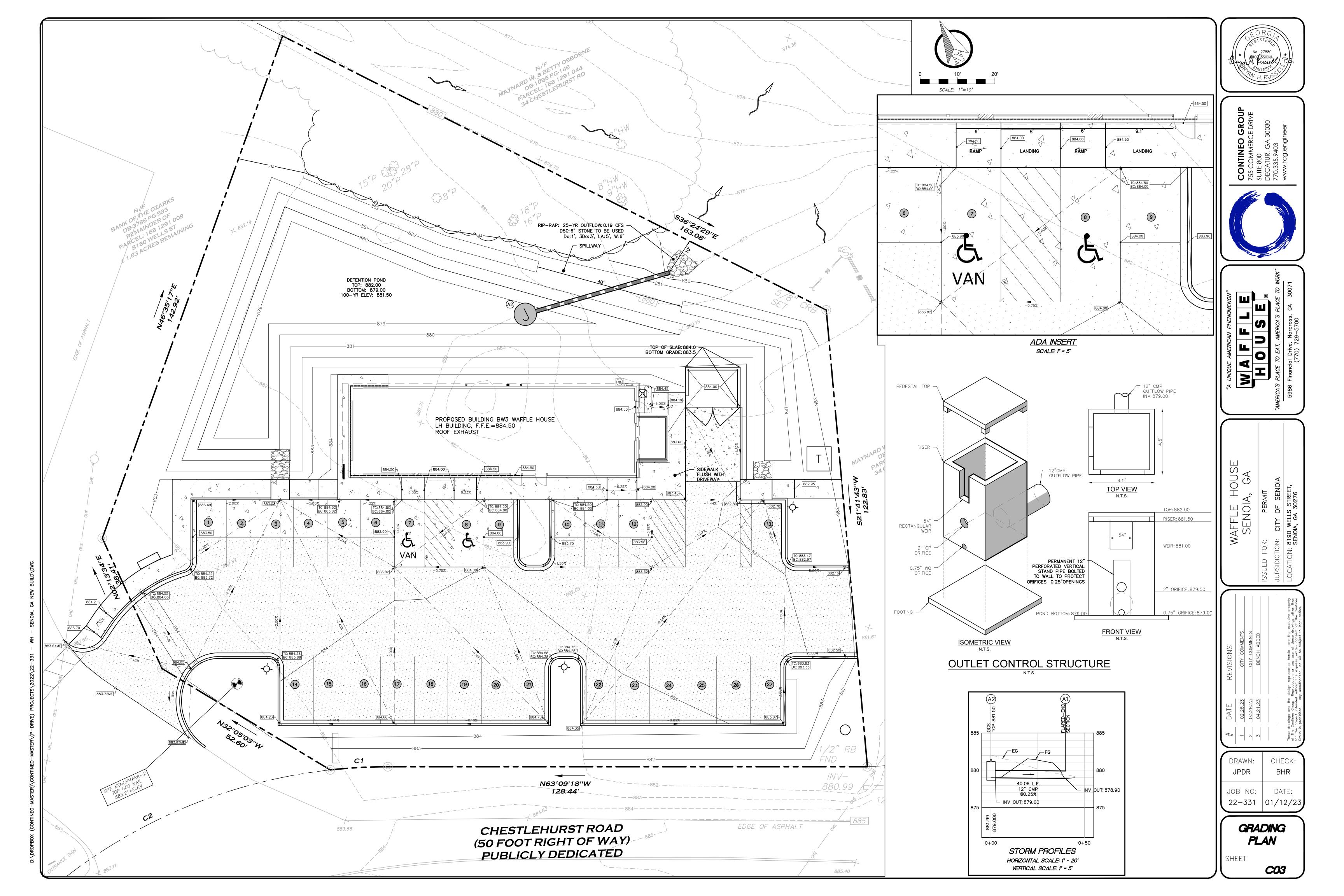
LS-1 LANDSCAPE PLAN (BY OTHERS) P-1PHOTOMETRIC PLAN (BY OTHERS) SURVEY (BY OTHERS)

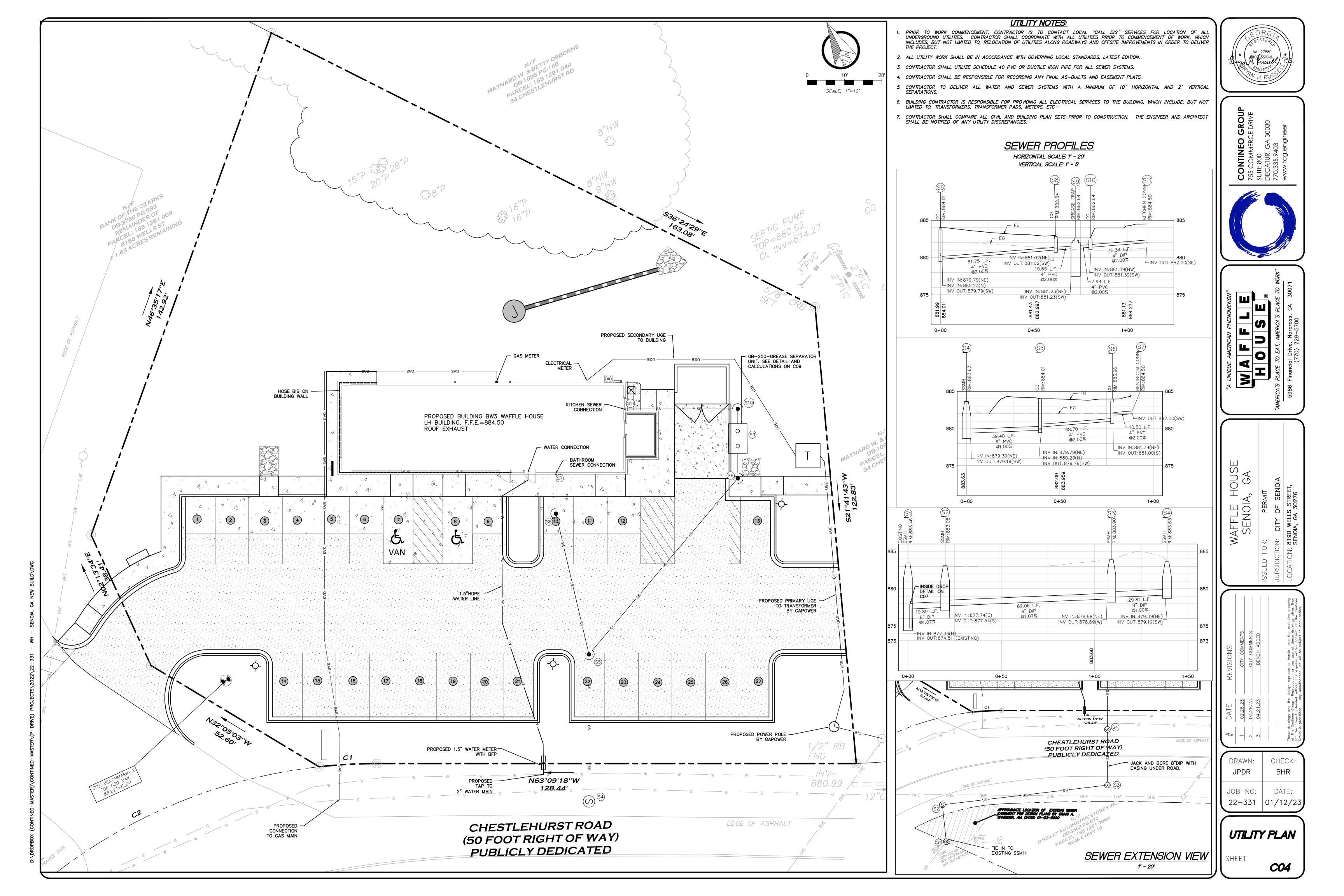


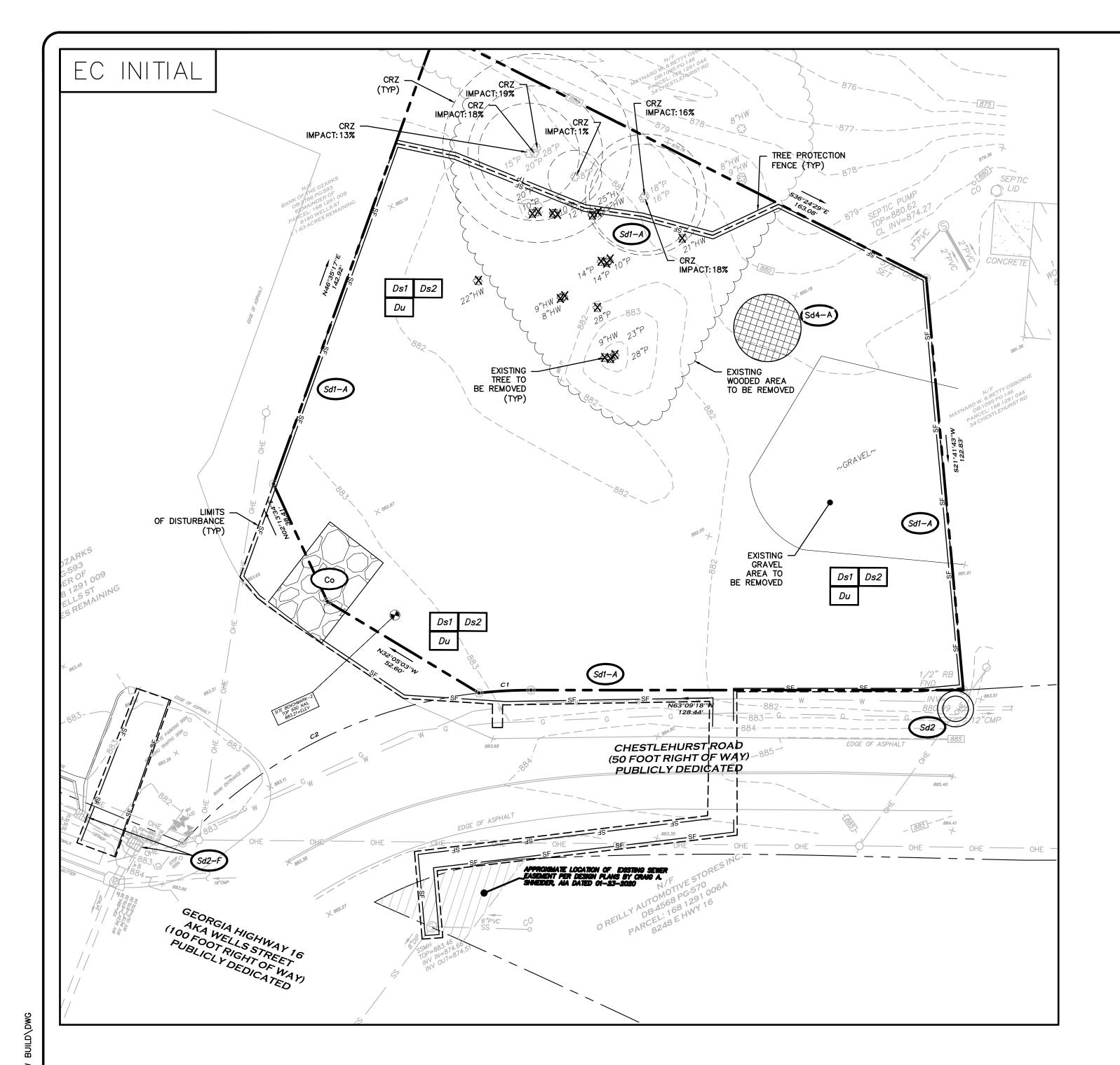
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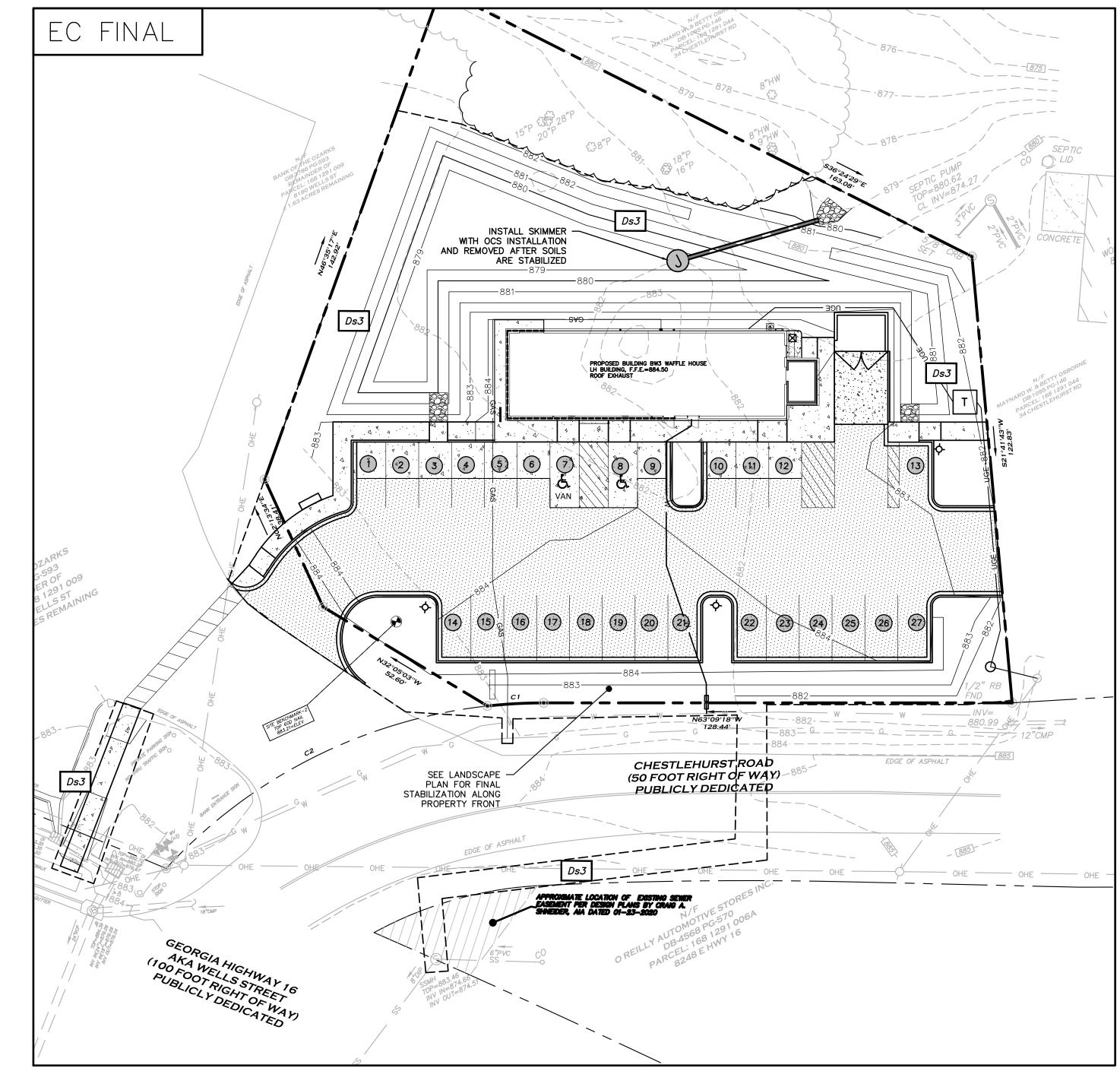
JOB NO: 22-331 01/12/23















DRAWN: JPDR	CHECK:
JOB NO: 22-331	DATE: 01/12/23

EROSION CONTROL PLAN

THERE ARE NO WETLANDS OR STATE WATER LOCATED WITHIN 200 FT FROM THIS PROJECT SITE.

THERE ARE NO APPLICABLE 25' OR 50' UNDISTURBED BUFFERS LOCATED WITHIN THIS PROJECT SITE.

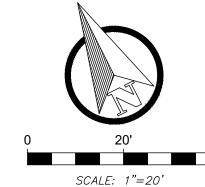
THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY WETLAND

APPROVAL OF THIS PLANS DOES NOT CONSTITUTE APPROVAL BY THE LOCAL JURISDICTION OF ANY LAND DISTURBING ACTIVITIES WITHIN WETLAND AREAS. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONTACT

THERE ARE NO BUFFERS OR TREE SAVE AREAS WITH IN THE LIMITS OF DISTURBANCE.

DISTURBANCE.

CONTRACTOR IS RESPONSIBLE FOR PROVIDING EROSION CONTROL MEASURES AS NECESSARY TO AVOID ESCAPE OF SEDIMENTS FROM THE SITE. ALL SOILS MUST BE STABILIZED PRIOR TO COMPLETION OF WORK. NON-EROSIVE FLOWS WILL BE PROVIDED FOR LEAVING THE SITE.



24-HOUR EMERGENCY CONTACT: DAVID MITCHELL (678) 873-6842

GPS LOCATION (DECIMAL DEGREES) LONGITUDE: -84.542601

SITE CALCULATIONS

TOTAL SITE AREA = 0.66 AC 0.66 AC TOTAL DISTURBED AREA=

SD4-A TEMPORARY SEDIMENT TRAP

WHERE THE EXCAVATED SEDIMENT TRAP IS USED, SHOW THE FOLLOWING INFORMATION:

. DRAINAGE AREA R. REQUIRED SEDIMENT STORAGE = 67 CY/AC REQUIRED SEDIMENT STORAGE = $67 \text{ CY/AC} \times 0.6200 \text{ AC}$ REQUIRED SEDIMENT STORAGE = 41.5400 CY = 1121.5800 CF

3. ASSUME EXCAVATION DEPTH (MINIMUM OF 1.5 FT) 4 FT 4. ASSUME SLOPE OF SIDES (NO STEEPER THAN 2:1) 5. DETERMINE REQUIRED SURFACE AREA SAmin = REQUIRED SEDIMENT STORAGE/EXCAVATION DEPTH

SAmin = 280.3950 SF6. ASSUME SHAPE OF EXCAVATION AND DETERMINE DIMENSIONS. (A RECTANGULAR SHAPE WITH 2:1 LENGTH TO WIDTH RATIO IS RECOMMENDED) SHAPE: CIRCULAR

SAmin = 41.5400 CY

DIAMETER = 20 FT DIMENSIONS: L=N/A W=N/APROVIDED= 1205.7200 CF 44.6563 CY

PROVIDE A DETAIL SHOWING THE DEPTH, LENGTH, AND WIDTH, OR DIAMETER (IF APPLICABLE), AND SIDE SLOPES

1. ALL MATERIALS FROM DEMOLITION SHALL BE REMOVED

- FROM THE SITE BY THE GENERAL CONTRACTOR OR SUBCONTRACTOR UNLESS APPROVED FOR REUSE ON SITE BY THE STRUCTURAL, GEOTECHNICAL ENGINEERS
- 2. REMOVAL OF THE EXISTING STRUCTURES SHALL BE AS REQUIRED FOR THE PROJECT. THE MATERIALS REMOVED FROM THE SITE SHALL BE DISPOSED OF IN A PROPER AND LEGAL MANNER PER FEDERAL, STATE, AND OR LOCAL LAWS AND ORDINANCES.
- 3. IF ANY HAZARDOUS MATERIALS ARE ENCOUNTERED, THE OWNER SHALL BE NOTIFIED. THOSE MATERIALS SHALL BE REMOVED AND DISPOSED OF IN A MANNER AS APPROVED BY ALL GOVERNING AGENCIES AND IN A LANDFILL OR DISPOSAL FACILITY LICENSED TO ACCEPT HAZARDOUS MATERIAL.
- 4. PREDEMOLITION PHOTOGRAPHS SHALL BE TAKEN BY DAMAGE CAUSED BY DEMOLITION OPERATIONS.
- 5. EXISTING STRUCTURES TO REMAIN SHALL BE LOCAL GOVERNING AGENCIES.

- **DEMOLITION NOTES:** THROUGH OUT THE ENTIRE JOB. THIS MAY BE DONE
- THE CONTRACTOR SHALL MAINTAIN EROSION CONTROL DEVICES AS REQUIRED DURING DEMOLITION. AND GOVERNING AGENCIES. 8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER AND ALL UTILITY COMPANIES AND

BY WATERING DOWN AREAS AFFECTED BY THIS WORK.

9. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO

10. CONTRACTOR SHALL MAKE AN EFFORT TO SALVAGE

11. ALL ASPHALT AND CONCRETE CUTS SHALL BE SMOOTH, CLEAN AND IN STRAIGHT LINES.

ANY VEGETATION OR OTHER LANDSCAPING MATERIALS

WHEN AND WHERE POSSIBLE. NOTIFY LANDSCAPE

ARCHITECT AND OWNER OF RELOCATION AREA TO

CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE

MADE TO CONCRETE THAT IS TO REMAIN AS PART OF

REQUIRED UNLESS OTHERWISE NOTED.

PREVENT ANY FUTURE ISSUES.

THE NEW DEVELOPMENT.

OBTAIN AND PAY ALL FEDERAL, STATE, COUNTY, CITY AND LOCAL PERMITS FOR ANY AND ALL WORK

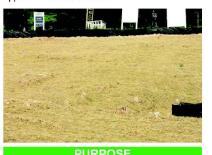
DEPARTMENTS 72 HOURS, OR AS REQUIRED, BEFORE DEMOLITION IS TO START, TO VERIFY ANY UTILITIES THAT MAY BE PRESENT ON SITE. ALL VERIFICATIONS, LOCATIONS, SIZE AND DEPTHS SHALL BE MADE BY THE APPROPRIATE UTILITY COMPANIES OR DEPARTMENTS. WHEN EXCAVATING AROUND OR OVER UTILITIES, THE CONTRACTOR MUST NOTIFY THE UTILITY COMPANY SO A REPRESENTATIVE OF THE UTILITY MAY BE PRESENT DURING THE EXCAVATION TO INSTRUCT AND OBSERVE DURING THE PROCESS. VERIFY THAT UTILITIES HAVE BEEN DISCONNECTED AND CAPPED BEFORE STARTING DEMOLITION OPERATIONS. NO TRENCHES SHALL BE LEFT OPEN

OVERNIGHT.

- THE CONTRACTOR FOR OWNER, SHOWING EXISTING CONDITIONS OF THE SITE AND ADJOINING BUILDINGS TO REMAIN. PHOTOS SHALL INCLUDE DAMAGE TO FINISH SURFACES THAT MIGHT BE MISCONSTRUED AS
- PROTECTED FROM DAMAGE BY THE CONTRACTOR. ANY DAMAGE INCURRED DURING THE CONSTRUCTION SHALL BE RESTORED, RECONSTRUCTED OR REPLACED TO AT
- LEAST THEIR ORIGINAL CONDITION OR AS REQUIRED OR DICTATED BY FEDERAL, STATE, COUNTY, CITY OR 6. IT IS THE RESPONSIBILITY OF CONTRACTOR TO INSPECT EACH DAY AND REMOVE ALL MUD, DIRT,
- GRAVEL AND LOOSE MATERIALS DUMPED FROM THIS SITE ONTO OTHER PROPERTIES. THE CONTRACTOR MUST CLEAN OR PICK UP DAILY IF NECESSARY. THE CONTRACTOR SHALL TRY TO REDUCE AIRBORNE DUST

DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)

DEFINITION A temporary cover of plant residues or other suitable materials, produced on site if possible, applied to the soil surface.



 Reduce runoff and erosion Modify soil temperature Conserve moisture

· Prevent surface compaction and crusting Control undesirable vegetation Increase biological activity in the soil INSTALLATION Apply mulch or temporary grassing to all exposed areas within 14 days of disturbance Applicable to graded or cleared areas where seedings may not have a suitable growing

season to produce an erosion retardant cover Mulch can be used as a singular erosion control device for up to 6 months. Apply at the appropriate depth. Refer to Table 1 for specific materials.

· Grade to permit the use of equipment for applying and anchoring mulch

Apply dry straw or hay and wood chips

uniformly by hand or by mechanical

Apply 20-30 lbs of nitrogen/acre if the area

· Apply polyethylene film on exposed areas

· Press straw or hay into the soil with a

disk harrow immediately after application

mulch with blower-type equipment.

Table 1. Mulching Application Requirements

Material Rate Depth

Secure with soil.

The appropriate depth and 90% cover shall be

REFERENCES

incrementally as necessary.

Polyethylene film Secure with soil, anchors, weights

Geotextiles, jute See manufac-

matting, netting, etc. turer's recom-

maintained at all times.

Tac Tackifiers

will eventually be covered with perennial

Applying Mulch

Anchoring Mulch

Straw or hay

Wood waste,

chips, sawdust,

bark

DISTURBED AREA **STABILIZATION** · Install needed erosion control measures such (WITH TEMPORARY SEEDING) as dikes, berms, and sediment barriers. Loosen compacted soil to a minimum depth



The establishment of temporary vegetative cover

Tackifiers may be used when spreading Anchor wood waste using the appropriate size netting

Trench polyethylene at the top as well as · Reduce runoff and sediment damage of down Protect the soil surface from erosion

 Improve wildlife habitat Improve aesthetics Improve tilth, infiltration, and aeration as well as organic matter for permanent plantings INSTALLATION Apply mulch or temporary grassing to all exposed areas within 14 days of disturbance.

· Applicable to rough graded areas that will be exposed for less than 6 months. Coordinate with permanent measures to ensure economical and effective stabilization. Take note of which species are not appropriate for companion crop plantings. When the soil has been sealed by rainfall or consists of smooth cut slopes, scarify the soil

and germinate.

in order to provide a place for the seed to lodge

· Apply agricultural lime at the rate determined

· Apply lime before land preparation and

incorporate with a disk, ripper, or chisel.

on the area and season of the year.

On steep slopes, apply fertilizer hydraulically.

Select grass or grass-legume mixtures based

Apply seed uniformly by hand, cyclone seeder,

drill, culti-packer-seeder, or hydraulic seeder.

The appropriate depth of planting is 10x the

Apply irrigation at a rate that will not cause runoff

and erosion. Thoroughly wet the soil to insure

· Re-seed areas where an adequate stand of

If optimum conditions for temporary vegetation

is lacking, mulch can be used a singular erosion

Ds1 Disturbed Area Stabilization (With Mulching Only)

MAINTENANCE

temporary vegetation fails to emerge.

by soil test pH.

seed diameter.

control device.

germination of the seed.

Tac Tackifiers



Figure 2. Browntop Millet



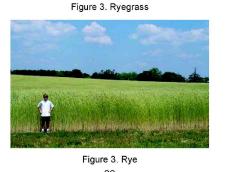


Table 1. Some Temporary Plant Species, Seeding Rates and Planting Dates Planting Dates by Region

1,000 sq. ft. M-L P C 9/1-10/31 9/15-11/15 10/1-12/31 Barley in Mixtures Lespedeza, Annual 3/1-3/31 3/1-3/31 2/1-2/28 0.2 lbs. Lespedeza in Mixtures Lovegrass, Weeping 4/1-5/31 4/1-5/31 3/1-5/31 Lovegrass in Mixtures .05 lbs. 4/15-6/15 4/15-6/30 4/15-6/30 .2 lbs. 10 lbs. Millet in Mixtures Millet, Pearl 5/15-7/15 5/1-7/31 4/15-8/15 1.1 lbs. 2.99 lbs. 9/15 -11/15 | 9/15-11/15 | 9/15-11/15 | Oats in Mixtures

		Rates Per	Rates per	Plant	ing Dates by F	Region
	Species	1,000 sq. ft.	Acre	M-L	Р	С
	Rye (Grain) Alone Rye in Mixtures	3.9 lbs. .6 lbs.	3 bu. .5 bu.	8/15-10/31	9/15/-11/30	10/1-12/3
	Ryegrass	0.9 lbs.	40 lbs.	8/15-11/15	9/1-12/15	9/15-12/3
24	Sudangrass	1.4 lbs.	60 lbs.	5/1-7/31	5/1-7/31	4/1-7/31
	Triticale Alone Triticale in Mixtures	3.3 lbs. .6 lbs	3 bu. .5 bu.	NA	NA	10/15-11/3
	Wheat Alone Wheat in Mixtures	4.1 lbs. .7 lbs.	3 bu. .5 bu.	9/15 -11/30	10/1-12/15	10/15-12/

Table 2. Fertilizer Requirements for Temporary Vegetation Fertilizer Rate N Top Dressing (N-P-K) (lbs./acre) Rate (lbs./acre) Planting Year

6-12-12 1500 1000 400 50-100 Cool season grasses 10-10-10 0-50 Cool seasn grasses & legumes 0-10-10 Maintenance 10-10-10 First 500 30 seeded alone 6-12-12 6-12-12 10-10-10



 Reduce or eliminate the transport of mud from the construction area onto public right-of-ways.

INSTALLATION

· Install according to the approved plan. Use 1.5"-3.5" stone. · Minimum pad thickness of 6".

Table 2. Fertilizer Requirements for Permanent Vegetation

6-12-12 10-10-10

6-12-12 0-10-10 0-10-10

Planting Year

First Second

 Minimum pad width of 20 ft. Minimum pad length of 50 ft. When the construction is less than 50 ft from the paved access, the length shall be from the edge of the existing pavement to the permitted building being constructed.

 When washing is required, conduct on an area. stabilized with crushed stone and route runoff to an approved sediment trap or sediment basin. · Place the geotextile liner the full length and width of the entrance.

Rate (lbs./acre)

50-100

0-50

1500 1000 400

1500 1000 400

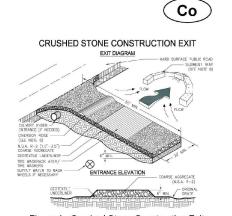


Figure 1. Crushed Stone Construction Exit Installation Requirements



Figure 2. Geotextile Underliner MAINTENANCE

 Periodically dress with 1.5"-3.5" stone. Maintain in a condition that will prevent tracking or flow of mud onto public rights-of way. Immediately remove mud and debris tracked or spilled onto roadways.

10

GROUI CE DRIVE

ONTINEO

DISTURBED AREA **STABILIZATION** (WITH PERMANENT SEEDING) DEFINITION

The planting of perennial vegetation such as trees, shrubs, vines, grasses, or legumes on exposed areas for final permanent stabilization.



· Protect the soil surface from erosion Reduce damage from sediment and runoff to down-stream areas Improve wildlife habitat and visual resources Improve aesthetics

INSTALLATION

· Final Stabilization means that 100% of the soil surface is uniformly covered in permanent vegetation with a density of 70% or greater, or landscaped according to the plan (uniformly covered landscaping materials in planned lanscaped areas), or equivalent permanent stabilization measures.

 Select plants species based on site and soil conditions, planned use and maintenance of the area, time of year, method of planting, and the needs of the land user. (Refer to Table 1)

2" to 3"

Apply agricultural lime at a rate of 1-2 tons/ acre unless soil tests indicate otherwise. Please refer to Table 2 for initial fertilization. nitrogen, topdressing, and maintenance fertilizer requirements for each species. Apply seed hydraulically. If using conventional

methods, use a culti-packer seeder, drill, rotary seeder, or by hand. Cover the seed lightly with 1/8"-1/4" of soil for small seed and 1/2"-1" of soil for large seed when using a cultipacker. Check seed tags for % germination & % purity in order to calculate Pure Live Seed (PLS), which is the percentage of the seeds that are pure and

 Mulch is required for all permanent vegetation applications. Please refer to Ds1 for application rates and anchoring methods for different · Irrigate when the soil is dry and at a rate that will not cause runoff.

KIND: TALL FESCUE VARIETY: KENTUCKY 31 LOT # 4-236 imminister of limital behavior of apparature, and committee of any own or requestrating the Phart apparature of a limital behavior of the Longo, prints or these of the companies of the Longo, prints or these of the companies of prints and be anothern from when the sent was purchased. A copy of the companies comit be a 1 to the sent to be controlled on applicational or as observed provided by disk states. Figure 1. Typical Tag on a Bag of Seed

> PLS Example Tall Fescue 85% germination & 95% purity PLS = 0.85 germination x 0.95 purity PLS = 80.75% Seeding rate = 50 lbs. PLS/acre = 61.92 lbs/acre
> PLS 80 75% D 9

Table 1. Som	Table 1. Some Permanent Plant Species, Seeding Rates, and Planting Dates Rates per Rates per Region Remarks										
Species	Rates per Acre	Rates per	Pla	nting Dates Region	by	Remarks					
	Acie	1,000 Sq. II	M- L	Р	С						
Bahia, Pensacola Alone or with temporary cover With other perennials	60 lbs. 30 lbs.	1.4 lbs. 0.7 lb.		4/1 -5/31	3/1-5/31	Low growing; sod producing; will spread into Bermuda lawns.					
Bahia, Wilmington Alone or with temporary cover With other perennials	60 lbs. 30 lbs.	1.4 lbs. 0.7 lb.	3/15-5/31	3/1-5/31	_	Same as above					
Bermuda, Common (Hulled seed) Alone With other perenials	10 lbs. 6 lbs.	0.2 lb. 0.1 lb.		4/1-5/31	3/15-5/31	Quick cover; low growing; sod forming; needs full sun.					
Bermuda, Common (Unhulled seed) With temporary cover With other perennials	10 lbs. 6 lbs.	0.2 lb. 0.1 lb		10/1-2/28	11/1-1/31	Plant with Winter annuals. Plant with Tall Fescue					

		Table 1. Some	Permanen	t Plant Spec	cies, Seediı	ng Rates, a	nd Planting	g Dates (continued)
	Species		Rates per Rates per Acre 1,000 sq. ft		Planting Dates by Region			Remarks
A		·	Acre	1,000 Sq. II	M- L	Р	С	
_		Bermuda Springs Common lawn and forage	40 cu. ft.	0.9 cu.ft.				1 cu. ft. = 650 sprigs 1 bu. = 1.25 cu. ft. or 800
		hybrids	Sod plu	ıgs 3' x3'	4/15-6/15	4/1-6/15	4/1-5/31	sprigs
29	29	Centipede	Blcok Sod Only	Block Sod Only		11/1-5/31	11/1-5/31	Drought tolerant. Full sun or partial shade.
		Crown Vetch With winter annuals or cool season grasses	15 lbs.	0.3 lb.	9/1-10/15	9/1-10/15	-	Mix with 30 lbs. Tall Fescue or 15 lbs. Rye; inoculate seed; plant only North of Atlanta.

3/1-4/15

or 9/1-10/15

Species	Rates per	Rates per	Planting Dates by Region		by	Remarks	
	Acre	1,000 sq. ft	M- L	Р	С		
Lespedeza, Sericea Scarified	60 lbs.	1.4 lbs.	4/1-5/31	3/15-5/31	3/1-5/15	Widely adapted and low maintenance; takes 2-3 years to establish; inoculate seed with EL inoculant; mix with Weeping lovegrass, Common Bermuda, Bahia or Tall Fescue.	
Unscarified	75 lbs.	1.7 lbs.	9/1-2/28	9/1-2/28	9/1-2/28	Mix with Tall Fescue or winter annuals.	
Seed-bearing hay	3 tons	138 lbs.	10/1-2/28	10/1-1/31	10/15-1/15	Cut when seed is mature but before it shatters. Add Tall Fescue or winter annuals.	

	Table 1. Some	Permanen	t Plant Spec	ies, Seedir	ng Rates, a	ınd Planting	g Dates (continued)	
	Species	Rates per Rates per Acre 1,000 sq. ft		PI	anting Dates Region	by	Remarks	
		Acre	1,000 sq. it	M- L	Р	С		
2	Lespedeza Ambro Virgata or Appalow Scarified Unscarified	60 lbs. 75 lbs.	1.4 lbs. 1.7 lbs.	4/1-5/31 9/1-2/28	3/15-5/31 9/1-2/28	3/1-5/15 9/1-2/28	Spreading growth with height of 18"-24"; good in urban areas; slow to develop good stands; mix with Weeping Lovegrass, Common Bermuda, Bahia Tall Fescue or winter annuals; do not mix with Sericea Lespededeza; inoculate seed with EL inoculant.	
	Lespedeza, Shrub (Lespedeza Bicolor or Lespedeza Thumbergii) Plants	3' x 3'	spacing	10/1-3/31	11/1-3/15	11/15-2/28	Plant in small clumps for wildlife food and cover.	

Table 1. Some Permanent Plant Species, Seeding Rates, and Planting Dates (continued)									
Species	Planting Dates by Rates per Rates per Region			by	Remarks				
Species	Acre	1,000 sq. ft	M- L	-L P C		Tomano	ш		
Lovegrass, weeping Alone With other perennials	4 lbs. 2 lbs.	0.1 lb. 0.05 lb.	4/1-5/31	3/15-5/31	3/1-5/31	Quick cover; drought tolerant; grows well with Sericea Lespedeza on road-banks and other steep slopes; short lived.			
Maidencane sprigs	2' x 3' s	spacing	2/1-3/31	2/1-3/31	2/1-3/31	For very wet sites such as river banks and shorelines. Dig sprigs locally.			
Panicgrass, Altantic Coastal	20 lbs.	0.5 lb.		3/1-4/30	3/1-4/30	Grows well on coastal sand dunes; mix with Sericea Lespedeza but not on sand dune.			
Red Canary Grass With other perennials	50 lbs. 30 lbs.	1.1 lbs. 0.7 lb.	8/15-10/15	9/1-10/15	_	Grows similar to Tall Fescue; for wet sites			

Species	Rates per	Rates per	PI	anting Dates Region	Remarks		
Оресіез	Acre	1,000 sq. ft	M- L	Р	С	Kemarks	
Sunflower, Aztec Maximillian	10 lbs.	0.2 lb.	4/15-5/31	4/15-5/31	4/1-5/31	Mix with Weeping Lovegrass or other low growing grasses or legumes.	
ates are for broadcastedS is an abbreviation for ne resource areas are de deeding rates are based of	Pure Live Se	ed. Refer to 0 Blossary. See	Glossary for a	an explanation	of this term.		

Types of Species

legumes

Warm season grasses

Warm season grasses and legumes

Tillage - Designed to roughen and bring clods to

the soil surface. Begin plowing on windward side

of site. Use chisel-type plows, spring-toothed

harrows, or similar plows to achieve desired

Irrigation - Sprinkle the site with water until the

Barriers - Use solid board fence, snow fence,

burlap fence, crate walls, bales of hay, or similar

material to control air currents and soil blowing

Place barriers at right angles at intervals of 15x

Calcium Chloride - Apply at a rate to keep the

Permanent Methods

Permanent Vegetation - See Ds3 - Disturbed

rea Stabilization (with Permanent seeding)

Existing trees and large shrubs may afford

used before wind erosion starts.

surface is wet. Repeat as needed.

their height to control wind erosion.

valuable protection if left in place.

surface moist.

effect. This is an emergency measure to be

construction activity.

	Tr
GALVANIZED METAL. POST SUNK A MINMUM OF 11-0" BELOW CRADE SST.	NO EXCAVATION, TILLING, GRUJHIN OR EQUIPM WITHIN LIMIT PROTECTIO

PROTECTION Figure 1. Chain Link Fence Installation

The protection of desirable trees from injury during Tree protection zone fencing may be one of the

 For areas of large remnant forest to be protected, use 4 ft high orange plastic fabric fencing stapled in 3 locations to 2x4 treated wood stakes. Set stakes 6 ft on center. Do not use rebar as stakes. For single family homes use a treated wood

fencing. It may have orange fabric attached · For all other developments use 6 ft high chain link fencing attached to galvanized metal post.

Tree Protection Zone Fencing

6' TEMPORARY CHAIN LINK FENCE

*Please refer to the American National Standard(ANSI) or the International Society of Arborculture for more information regarding standards for adequate tree protection.

REVISIONS	CITY COMMENTS	CITY COMMENTS	BENCH ADDED		ign represented herein are the exclusive
# DATE	1 02.28.23	2 03.28.23	3 04.21.23		These drawings and the design represented herein

'	
)RAWN: JPDR	CHECK: BHR
OB NO:	DATE: 01/12/23

Ds3





Figure 4. Common Bermuda

 Re-seed areas where an adequate stand of vegetation fails to emerge or where a poor Maintain at least 6" of top growth under any use and management. Exclude traffic until the plants are well

Please refer to Table 2 for second year and maintenance fertilizer rates. Apply one ton of agricultural lime every 4-6 years or as indicated by soil tests. Mow Bermudagrass, Bahiagrass, and Tall Fescue as desired. Mow Sericea Lespedeza only after frost to

ensure that the seeds are mature. REFERENCES Ds1 Disturbed Area Stabilization (With Mulching Only)

Ds2 Disturbed Area Stabilization (With Temporary Seeding)

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Ss Slope Stabilization

Establish immediate ground cover Reduce runoff and erosion Improve aesthetics and land value

Fescue, Tall

Alone 50 lbs. 1.1 lbs. or 9 with other perennials 30 lbs. 0.7 lb. 8/15-10/15

 Reduce dust and sediments · Stabilize waterways and critical areas Filter sediments, nutrients and bugs Reduce downstream complaints Reduce likelihood of legal action Reduce likelihood of work stoppage due to

erodible or critically eroded lands.

 Increase "good neighbor" benefits · Bring soil surface to final grade. Clear surface

frozen surfaces, or gravel type soils.

of trash, woody debris, stones and clods larger than 1". Apply sod to soil surfaces only and not

DISTURBED AREA STABILIZATION (WITH SODDING) DEFINITION A permanent vegetative cover using sods on highly

Topsoil properly applied will help guarantee a stand. Don't use topsoil recently treated with herbicides or soil sterilants. · Mix fertilizer into soil surface. Fertilize based on soil tests or Table 1. For fall planting of warm season species, half the fertilizer should be applied at planting and the other half in the · Agricultural lime should be applied based on

Lespedezas or Crown Vetch; not for droughty soils or heavy use areas

soil tests or at a rate of 1-2 tons/acre. Lay sod with tight joints and in straight lines. Don't overlap joints. Stagger joints and do not stretch sod. Table 1. Fertilizer Requirements for Soil Surface Application

Fertilizer Type Rate (lbs./sqr.ft.)

Fertilizer Rate Season 10-10-10 1000 .025 Fall • On slopes steeper than 3:1, sod should be anchored with pins or other approved methods. · Installed sod should be rolled or tamped to

provide good contact between sod and soil. Irrigate sod and soil to a depth of 4" immediately after installation. Sod should not be cut or spread in extremely wet or dry weather. Irrigation should be used to supplement rainfall for a minimum of 2-3 weeks.

MATERIALS · Sod selected should be certified. Sod grown in the general area of the project is desirable. · Sod should be machine cut and contain 3/4" (+ or - 1/4") of soil, not including shoots or

· Sod should be cut to the desired size within ±5%. Torn or uneven pads should be rejected. · Sod should be cut and installed within 36 hours

· Avoid planting when subject to frost heave or hot weather, if irrigation is not available. · The sod type should be shown on the plans or installed according to Table 2. See page 60 for your Resource Area. Table 2. Sod Planting Requirements Grass Varieties Resource Growing

Bermudagrass	Common Tifway Tifgreen Tiflawn	M-L, P,C P,C P,C P,C	Warn weath					
Bahiagrass	Pensacola	P,C	Warn weath					
Centipede	I	P,C	Warn weath					
St. Augustine	Common Bitterblue Raleigh	С	Warn weath					
Zoysia	Emerald Myer	P,C	Warn weath					
Tall Fescue	Kentucky 31	M-L, P	Coo weath					
MAINTENANCE								

· Re-sod areas where an adequate stand of sod is not obtained. · New sod should be mowed sparingly. Grass height should not be cut less than 2"-3" or as · Apply one ton of agricultural lime as indicated by soil test or every 4-6 years.

 Fertilize grasses in accordance with soil tests Table 3. Fertilizer Requirements for Sod

REFERENCES

Ds1 Disturbed Area Stabilization (With Mulching Only) Ds2 Disturbed Area Stabilization (With Temporary Seeding)

Ds3 Disturbed Area Stabilization (With Permanent Vegetation) Ss Slope Stabilization



DUST CONTROL ON

DISTURBED AREAS

 Prevent surface and air movement of dust from exposed soil surfaces. · Reduce the presence of airborne substances that may be harmful or injurious to human health, welfare, or safety, or to animals or plant

MATERIALS Temporary Methods Mulches - See Ds1 - Disturbed Area

tabilization (with Mulching only). Refer to

specification Tac - Tackifiers for the use of

synthetic resin to bind mulch material.

Vegetative Cover - See Ds2 - Disturbed Area abilization (with Temporary Seeding). Spray-on Adhesives - For use on mineral soils, ot muck soils. Refer to specification Tac -Tackifiers.

· Supplement surface covering as needed.

Topsoiling - See specification Tp - Topsoiling. control, watershed protection, landscape Stone - Cover surface with crushed stone beautification, dust and pollution control, noise or coarse gravel. See specification Cr reduction, shade and other environmental Construction Road Stabilization. benefits while the land is being converted. MAINTENANCE SPECIFICATIONS Prohibit traffic on surface after spraying. · Contact the local government to obtain information regarding tree ordinances BEFORE ES&PC plans are designed. Tree Protection Zones

> (1) Measure the diameter of the tree trunk in inches 4.5 ft from the ground. This is the Diameter Breast Height (DBH). (2) Multiply this value by 1.5. This result is the radius of the root protection zone in ft Also considered the critical rooting distance.

Ensure the survival of desirable trees where

they will be effective for erosion and sediment

Figure 2. "Snow" Fence Installation

DETAILS

DEFINITION

A temporary structure made up of porous material typically supported by steel or wood posts. Types include silt fence, brush piles, mulch berms, compost filter socks or other filtering material.



PURPOSE

Minimize and prevent sediment carried by sheet

- flow from leaving the site.
- Retain the sediment on the disturbed area. Filter sediment from runoff.

INSTALLATION

- Install according to the approved plan. · Do not install across streams, ditches,
- waterways, or other concentrated flow areas. The type of sediment barrier depends on
- whether the area is sensitive or non-sensitive. For silt fence, Type C will be classified as sensitive and Type A & B will be classified as
- non-sensitive.

(Sd4)

- Install along the contour.
- Along all state waters and other sensitive areas, 2 rows of Type S shall be used. The 2 rows should be placed a minimum of 36" apart.



Overlap barriers 18" when using multiple types of sediment barriers in a single run on a site.

· When storing runoff behind the sediment barrier, the maximum continuous slope length behind the sediment barrier shall not exceed those minimum of 18". found in Table 1.

 Provide a riprap spalsh pad or other protection device at any point where flow may overtop the

Installation Methods

Static Slicing Method

sediment barrier.

- Using a machine, pull a narrow blade through the ground to create a 12" deep slit, and simultaneously insert the silt fence fabric into the slit behind the blade.
- · Roll a tractor wheel along both sides of the slit in the ground 2-4 times to achieve compaction
- Drive posts 18" into ground and attach fabric.



Figure 1. Static Slicing Machine

Trenching Method

- Dig a 2"-6" wide trench with a 6" excavation. Drive posts 18" into ground and attach fabric.
- The best trenching method typically requires triple the time and effort to achieve results

(Sd1)

Sensitive Areas (Sd1-S)

Sediment barriers being used as Type S shall have a support spacing of no greater than 4 ft on center, with each being driven into the ground a

Type C Silt Fence

- 36" wide with wire reinforcement or equivalent backing
- To be used where runoff velocities are particularly high or where slopes exceed a vertical height of 10 ft.

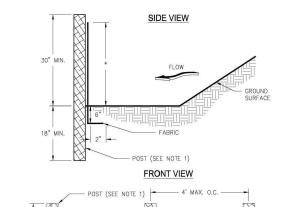


Figure 1. Type "C" Silt Fence

- comparable to the static slicing method.

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Sd1

Table 1. Criteria for Sediment Barrier Placement

10-20 25 >20 15								
5-10	50							
2-5	75							
<2	100							
Land Slope (%)	Maximum Slope Length Behind Fence (ft)							

Remove the sediment once it has accumulated

- to <u>one-half</u> the original height of the barrier. Replace barrier whenever it has deteriorated to such an extent that the effectiveness of the product is reduced (~6 months) or the height of the product is not maintaining 80% of its properly
- installed height. Remove and dispose of all accumulated

permanently stabilized.

sediment at the barrier before it is removed. Leave in place until all disturbed areas are

Table 2. Post Size											
Туре	Min. Length	Type of Post	Size of Post								
NS	4'	Oak Steel Soft Wood	1.5"x1.5" 1.15lb/ft min 3" or 2"x4"								
S	4'	Oak Steel	2"x2" 1.15lb/ft. min								

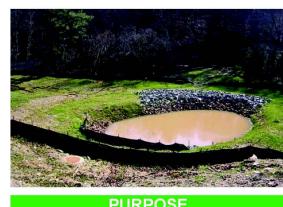
Figure 1. Thomas Carpenter, CPESC, Carpenter Erosion

Sd4

TEMPORARY SEDIMENT TRAP

A small temporary pond that drains a disturbed area so that sediment can settle out.

DEFINITION



PURPOSE

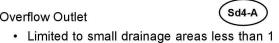
- · Collect and store sediment from uphill sites cleared and/or graded during construction.
- For use on small tributary areas with no unusual drainage features.

INSTALLATION

- Install according to the approved plan. Sediment traps are effective against coarse
- sediment, but not against silt or clay particles. The maximum drainage area is 5 acres
- depending on the type of installation. • The maximum depth of a trap is 4 ft as measured
- from the bottom of the trap to the invert of the emergency spillway.
- Ensure the length to width ratio is great than 2:1.
- · The height of the embankment shall not exceed 5.5 ft from the downstream toe to the top of the
- berm. The top width shall be at least 3 ft. Slopes shall not exceed 2:1.



 Construct side slopes 3:1 or flatter to allow people and equipment to enter the trap.



(Sd4-B)

- acre with gentle slopes(1-2%). The maximum life span is 6 months.
- Silt fence, straw bale barriers or grass filter strips are used to "polish" the overflow water as it leaves the sediment trap.

Combination Outlet

Overflow Outlet

- A combination of straw bales and silt fence are used to dewater the trap.
- · Properly install and stake the straw bales and ensure the silt fence has a wire backing so that the materials can resist 1 ft or more of ponded water.
- The maximum drainage area is 1 acre.
- The life span is less than 1 year.
- Requires frequent maintenance and adjustments.

Rock Outlet

- This type relies on filtering through layers of aggregate, rock or riprap material to dewater the sediment trap.
- This is the sturdiest design of the three and
- requires less maintenance.
- The maximum drainage area is 5 acres.
- The life span is typically 1 year.

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ONTINEO GROUP COMMERCE DRIVE

AFFLE H SENOIA,

DRAWN: CHECK: JPDR

DETAILS 2

Figure 2. Combination Outlet 128

SILT FENCE INSTALLATION
 (TYPICALLY WITH WIRE
 REINFORCEMENT BACKING)

Figure 1. Overflow Outlet



SEDIMENT TRAP

DEFINITION A temporary protective device formed at or around



- PURPOSE Prevent sediment from entering a storm drainage system prior to permanent stabilization of the disturbed area draining to the inlet.
- INSTALLATION Install according to the approved plan.
- Do not install on paved surfaces where safety is a concern.
- Sediment traps must be self-draining unless otherwise protected.

surface, or on machine compacted fill.

- Install at or around all storm drain drop inlets that receive runoff from disturbed areas. Construct on natural ground surface, excavated
- Excavated Sediment Traps
- An excavation created around the inlet to provide additional sediment storage.

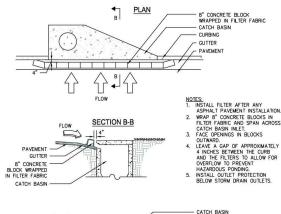
Provide a minimum depth of 1.5 ft for

- sediment storage.
- The side slopes shall not be steeper than 2:1. The drainage area entering the trap shall be no greater than 1 acre.

112

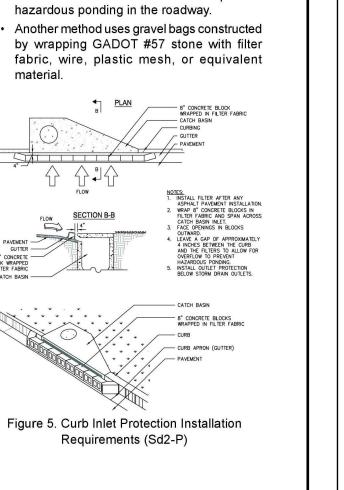


- · For the "pigs-in-a-blanket" method, wrap 8" concrete blocks in filter fabric and span
- across catch basin inlet.
- · Face openings in blocks outward. · Leave a gap of ~4" between the inlet filter and the inlet to allow for overflow and prevent
- hazardous ponding in the roadway. Another method uses gravel bags constructed by wrapping GADOT #57 stone with filter



- 8" CONCRETE BLOCKS WRAPPED IN FILTER FABRIC - CURB APRON (GUTTER)

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C.I. FRAME WATER—TIGHT MANHOLE COVER -PAVEMENT-BRICK COURSES FOR
ADJUSTING TO GRADE.
PLASTER INSIDE EXPOSED
SURFACES. MANHOLES TO BE 24"-30" ABOVE GRADE IN OPEN, UNMAINTAINED AREAS OR AS DIRECTED BY ENGINEER. AND PLUG (TYP.) JOINTS SHALL BE MADE WATER TIGHT WITH BUTYL RUBBER JOINT SEALANT AND 8" WIDE BUTYL MANHOLE STEPS RUBBER WRAP. RISER SECTION SEWER INLET TO BE PLACED AT STATION SHOWN ON PLANS BASE SECTION — W/ PREFORMED BENCH FLEXIBLE SLEEVE / (KOR-N-SEAL, OR EQUAL) FLEXIBLE SLEEVE (KOR-N-SEAL, OR EQUAL) STONE SUBBASE **SECTION PLAN**

COUNT

COWETA COUNTY WATER AND SEWERAGE AUTHORITY 545 CORINTH ROAD NEWNAN, GA 30263

STANDARD PRECAST 4'-0" MANHOLE

S-0002 DESIGNED: CCWSA DRAWN: GMC

COWETA COUNT

NON-CORROSIVE 11 GAUGE 304 -

SSTL STRAP 1 1/2" MIN. WIDTH

COWETA COUNTY WATER AND SEWERAGE **AUTHORITY** 545 CORINTH ROAD NEWNAN, GA 30263

PVC DROP ---

ATTACH TO MANHOLE WALL

USE 3/8" RED HEAD ANCHOR TO -

INSIDE DROP MANHOLE

RELINER INSIDE DROP BOWL -

SECURED WITH SSTL FASTENERS

RELINER SSTL PIPE BRACKET -

BRACKETS REQ'D.)

SECURED TO STRUCTURE WIT (2)

SSTL BOLTS. (4' INTERVALS, 2 MIN.

PVC DROP ---

S-0006 ESIGNED: CCWSA DRAWN: GMC

- EXIST. MANHOLE

CHANNEL

PIPE COUPLING

MANHOLE RUBBER

SANITARY SEWER

→ INFLUENT

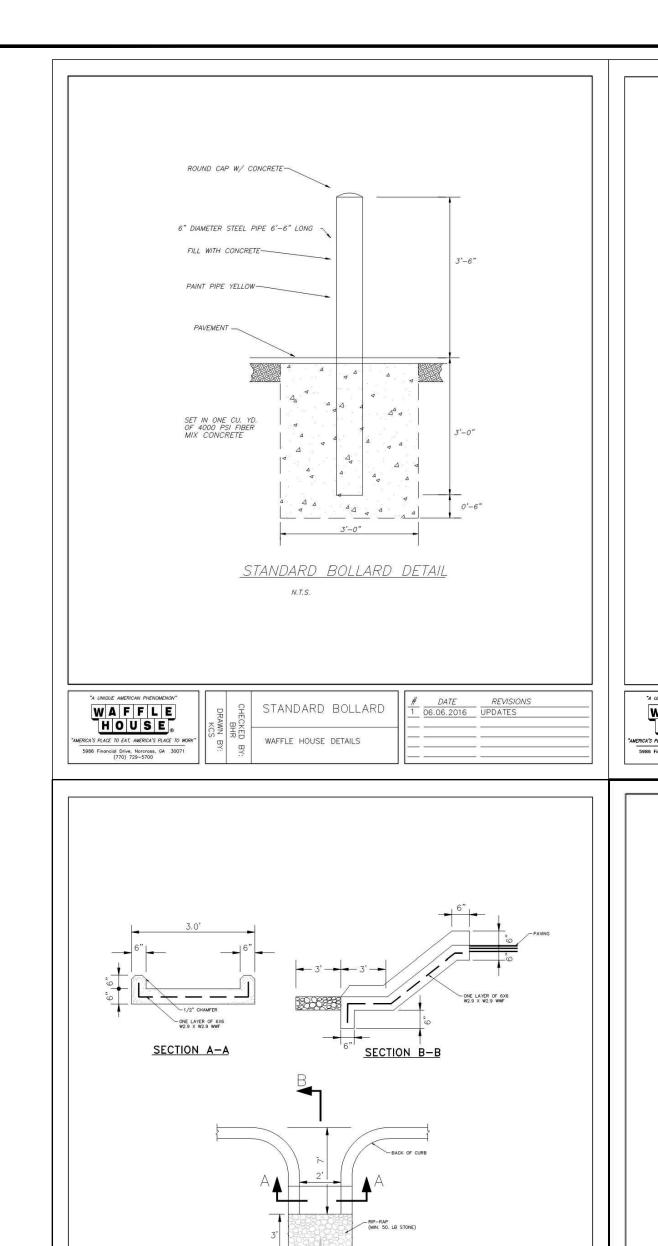
2'-0" OR OVER

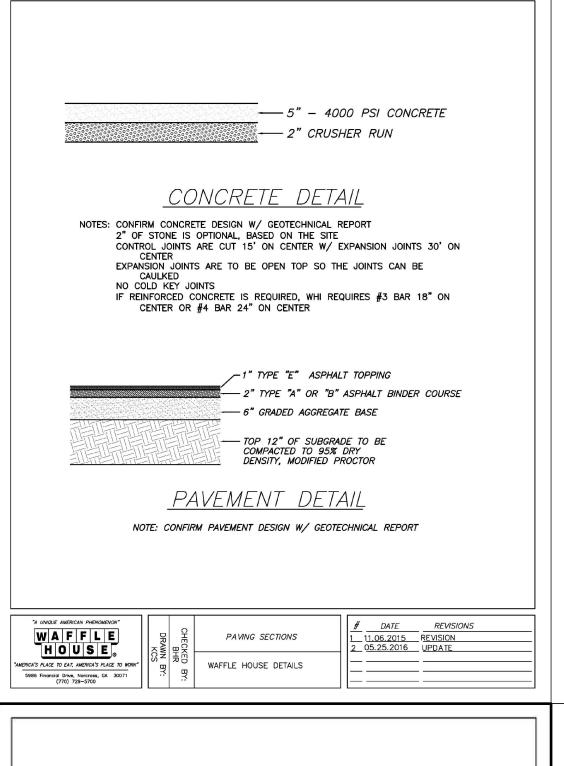
INSIDE DROP

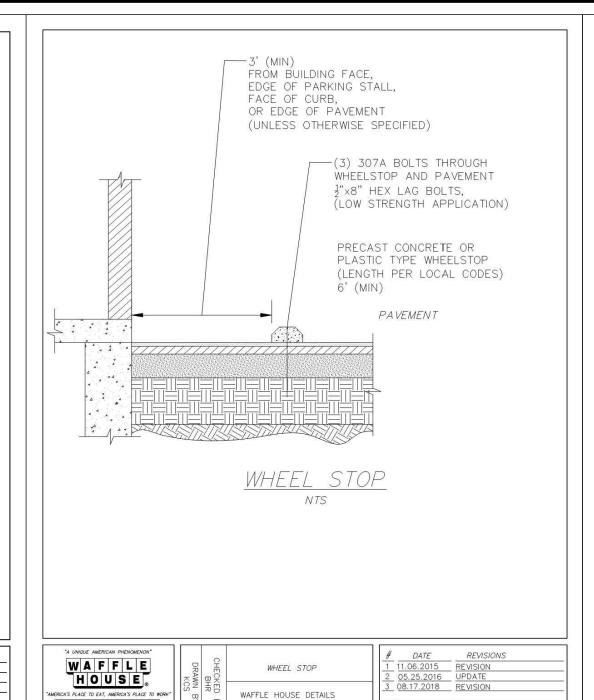
REQUIRED

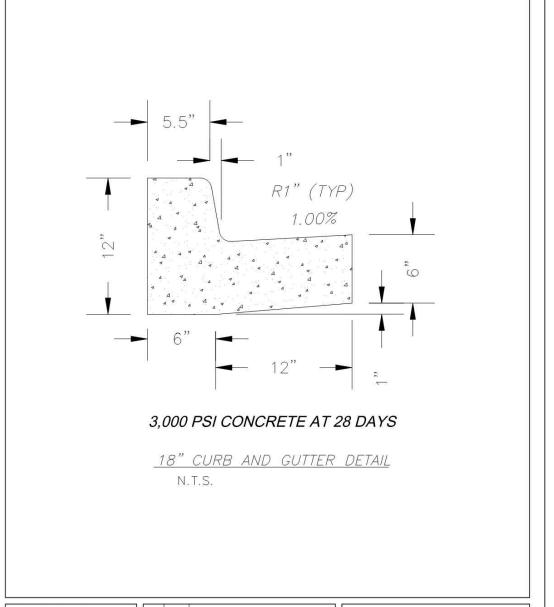
JOB NO: 22-331 01/12/23

C07





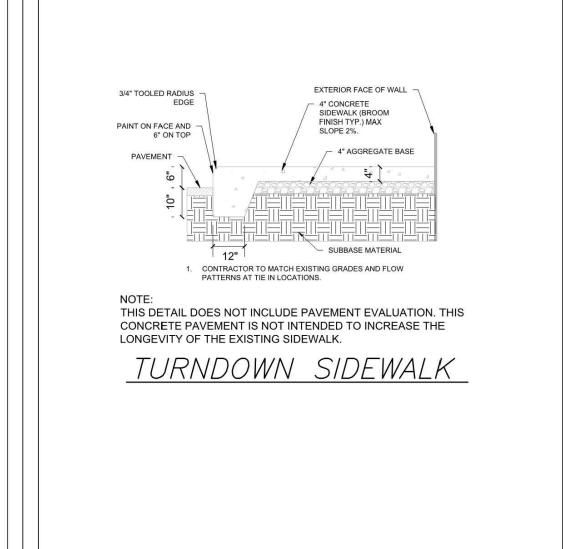




18" CURB AND GUTTER

WAFFLE HOUSE DETAILS

WAFFLE HOUSE



TURNDOWN SIDEWALK

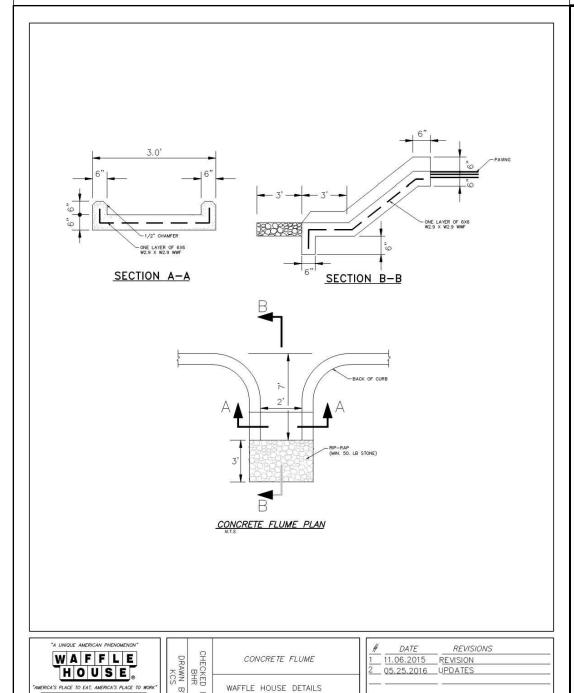
WAFFLE HOUSE DETAILS

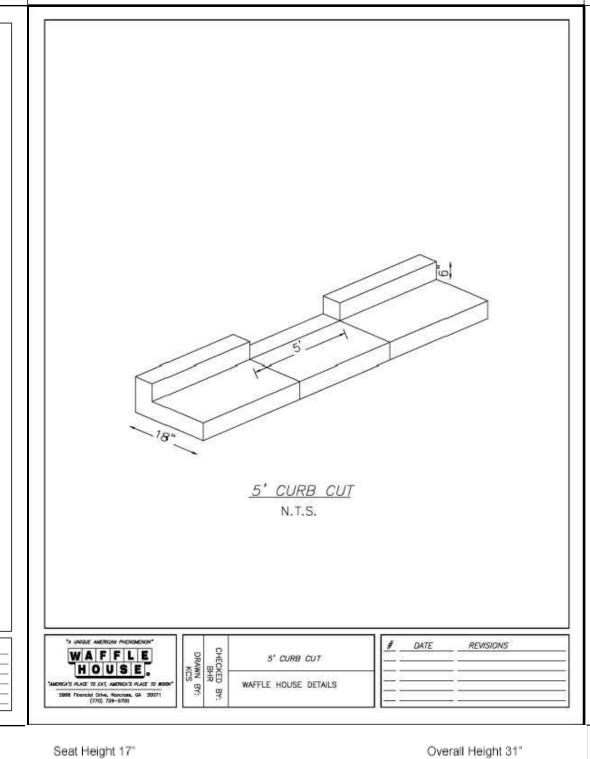
WAFFLE HOUSE

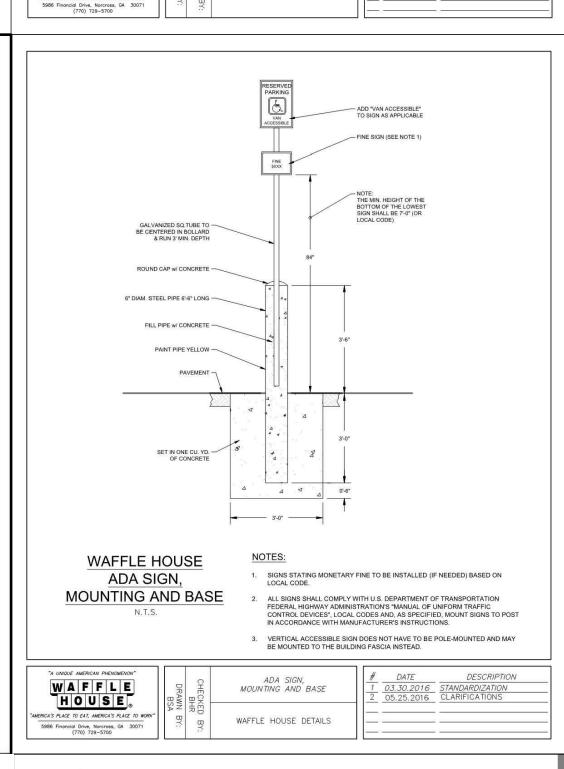
5986 Financial Drive, Norcross, GA 30071 (770) 729-5700

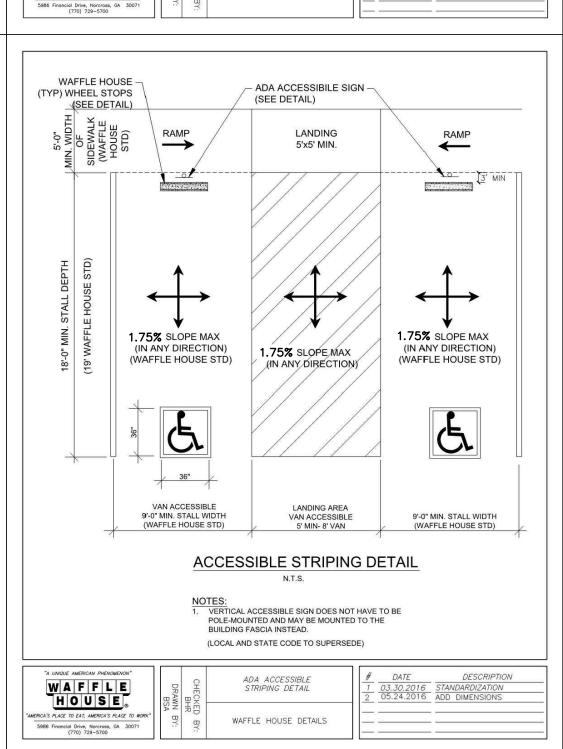
1'-0"

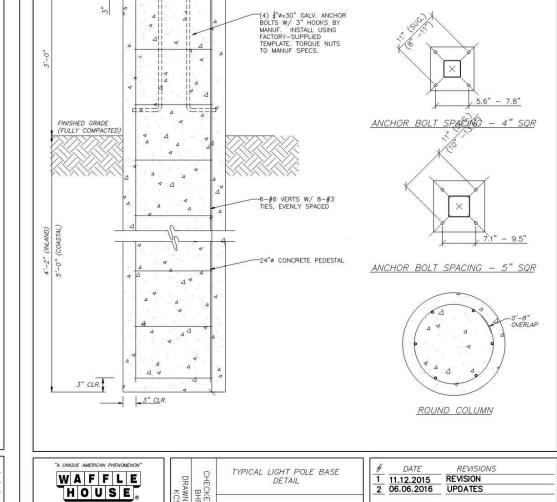
DATE REVISIONS 07.27.2016 UPDATES

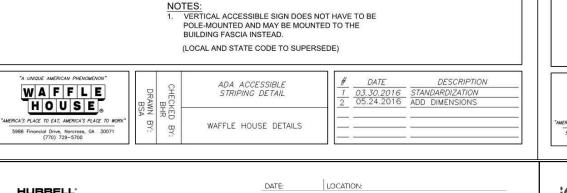












TYPE: PROJECT:

BASE DETAIL

CATALOG #:

not exceeding maximum a lowable loading of the specified pole in its installed geographic location

base cover: Two-piece square a uminum base cover included standard

Durable thermoset polyester powder coat paint finish with nominal 3.0 mil thickness

The above catalog numbers use a combination of the S2 and B3 drill pattern

Shaft: One-piece straight steel with square cross section, flat sides and minimum 0.23" radius on a licorners;
 Minimum yield of 46,000 psi (ASTM-A500, Grade B); Longitudinal weld seam to appear flush with shaft side wall;

Steel base plate with ax'al bolt circle slots welded to pole snaft having m'nimum yield of 36,000 psi (ASTM A36)

pole cap: Pole shaft supplied with removable cover when applicable; Tenon and post-top configurations

Powder paint prime applied over "write metal" steel substrate cleaned via mechanical shot blast method

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CONSTRUCTION

Anchor bolt part numbers:

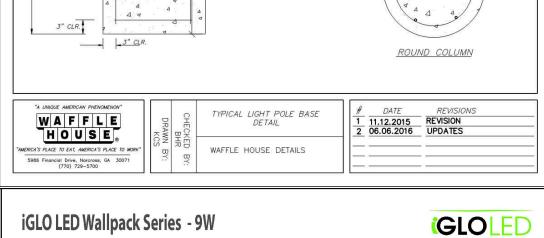
3/4 x 30 x 3 — TAB-30-M38

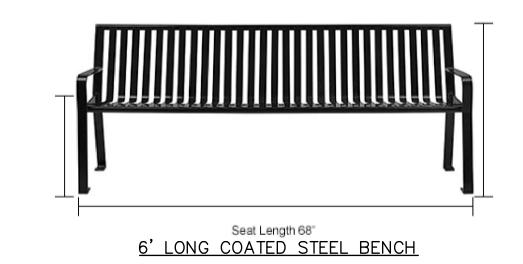
WAREHOUSE 'STOCKED' POLES:

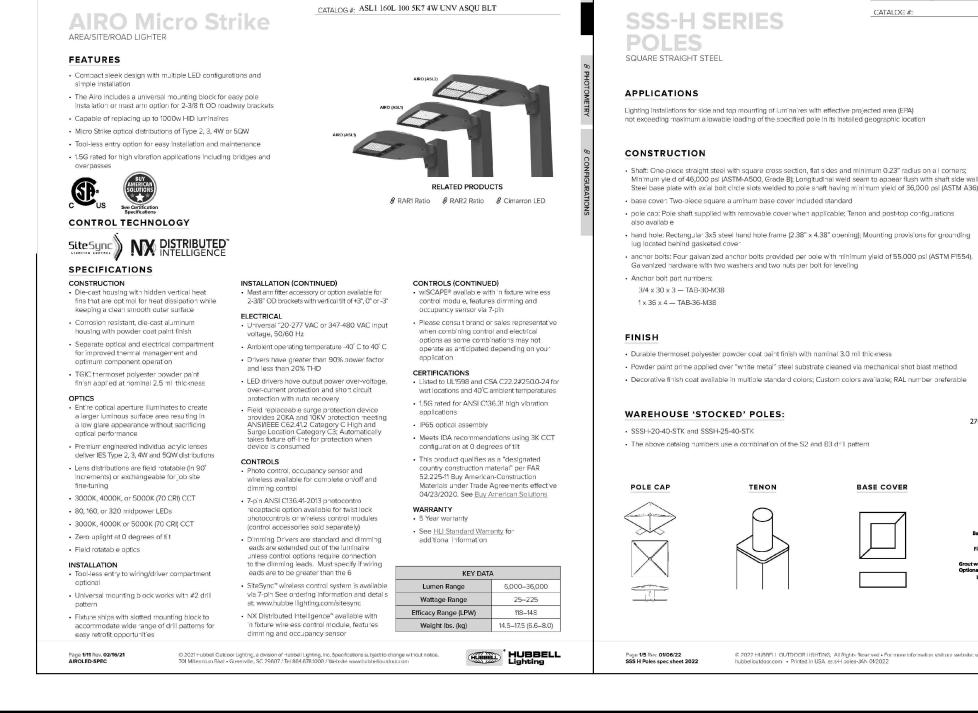
· SSSH-20-40-STK and SSSH-25-40-STK

POLE CAP

1 x 36 x 4 — TAB-36-M38

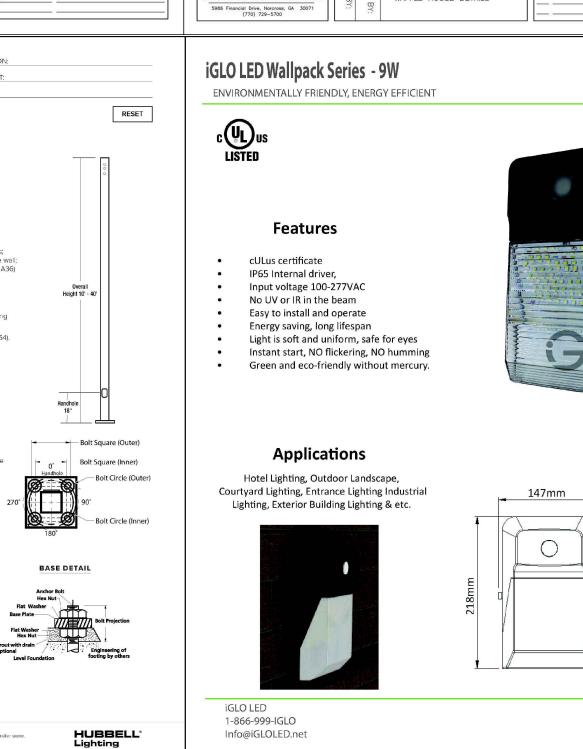






DATE: LOCATION: SITE LIGHTING SHOE BOX

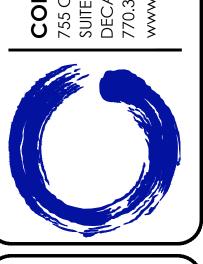
TYPE: PROJECT: WAFFLE HOUSE







CONTINEO GROUP 55 COMMERCE DRIVE



40

HOUS WAFFLE H SENOIA,

CHECK:

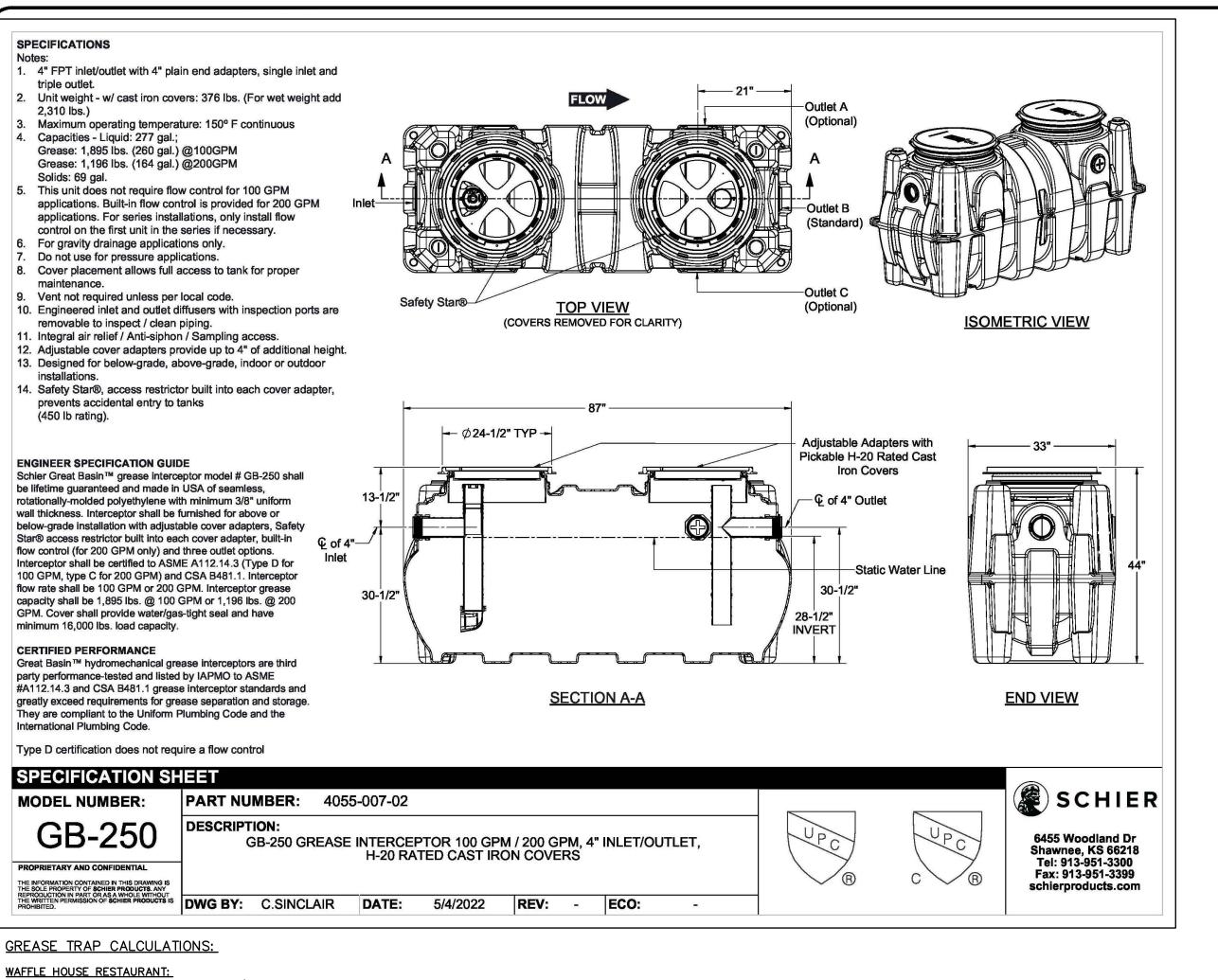
DRAWN: JPDR BHR JOB NO: 22-331 01/12/23

DETAILS 3 C08

4924 Cambridge Rd.

Ft. Worth, TX 76155

www.iGLOLED.net

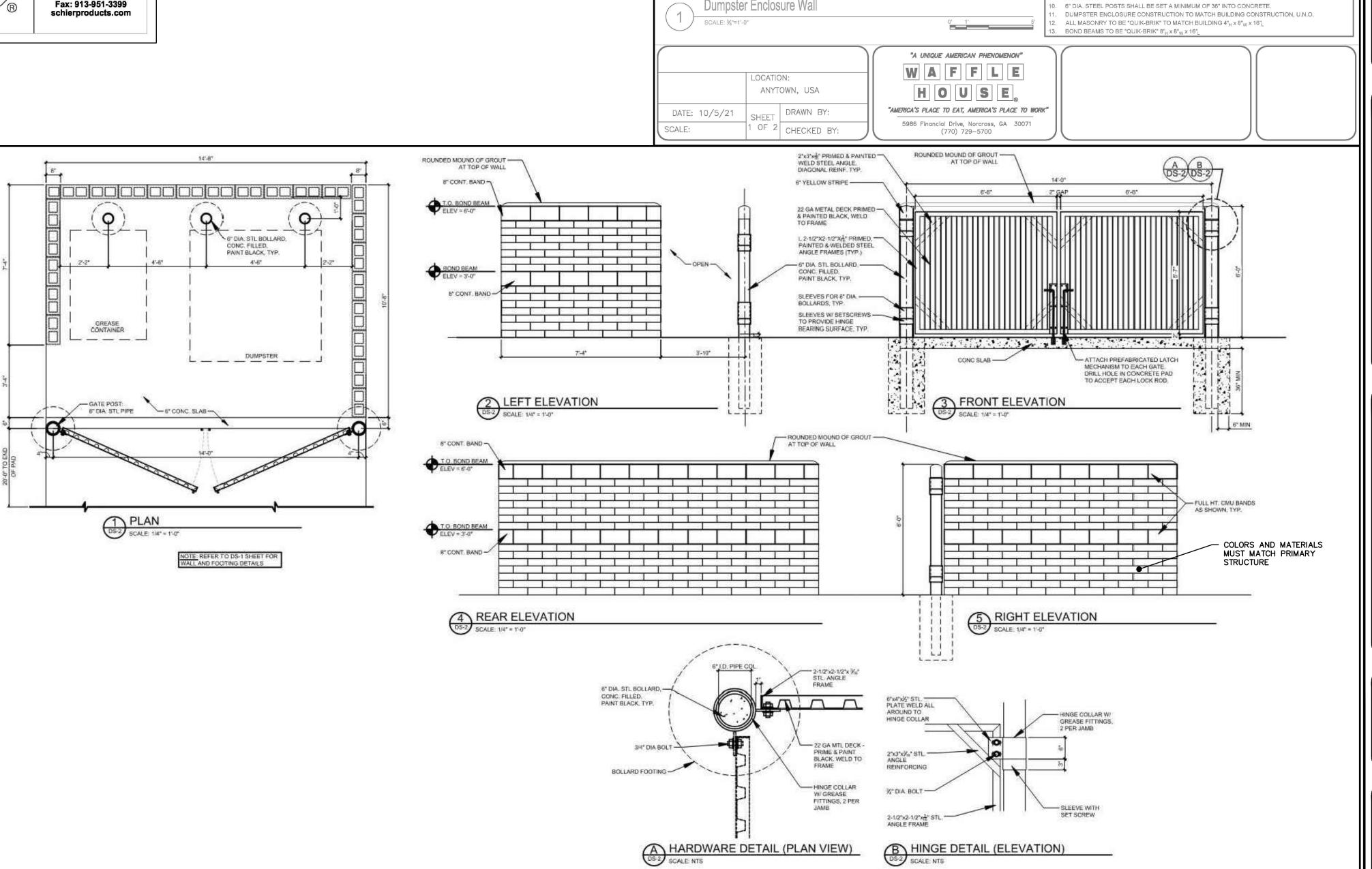


GREASE FACTOR OF .0065 X 250 MEALS/DAY X 90 DAYS BETWEEN PUMP-OUTS = 146.25 GAL. CAPACITY REQUIRED

MAXIMUM FLOW FROM KITCHEN SEWER: 4"PIPE AT TWO-MIN. DRAINAGE (EXTERIOR TRAP) = 75 GPM FLOW RATE

GB-250 SPECS: 450 MEALS PER DAY OR LESS.

MAXIMUM FLOW RATE: 100 GPM



THIS STRUCTURE HAS BEEN DESIGNED FOR THE FOLLOWING:

INLAND - 2012 OR NEWER IBC - 130 MPH (V_ULT)

COASTAL - 2012 OR NEWER IBC - 170 MPH (V_ULT)

— GATE POST

BY OTHERS

DOWELS @ 24"

SLAB 24" MIN. AND

TIE TO W.W.F.

6x6 W2.9 x W2.9 W.W.F.

- FRONT EDGE THICKENED

FTG. W/ (4) #4 CONT. HORZ.

PROVIDE #4 HOOKED BARS

EXTEND BELOW THICK FTG.



CONTINEO GROUP
755 COMMERCE DRIVE
SUITE 800
DECATUR, GA 30030
770.335.9403



WALL SCHEDULE

CMU WALL

AT TOP OF WALL

- CONT. 8" DEEP BOND BEAM,

DUR-O-WALL FIL-STOP, TYP.

W/ (2) #4 CONT, USE FIBERGLASS

HORIZ. JT. REINF. @ 16" O.C., TYP

- VERTS CENTERED IN WALL PER

DOWELS. 30" MIN. LAP LENGTH

GROUT SOLID ALL REINF. CELLS

SCHEDULE W/ MATCHING

8" HALF-HEIGHT CMU,

- HOOK VERT, DOWELS TO

THICKENED EDGE UNDER
WALLS CONT. AROUND
ENCLOSURE W/ (4) #4 LONG

FTG. REINF. AS SHOWN

REINF. AS SHOWN

TO DOWELS.

INLAND

AX H T VERTREINF 'W' D'

_0'' 3'-0" #5 @ 48" OC 1'-6" 1'-6"

3'-0'' 4'-0" #5 @ 40" OC 1'-6" 1'-6"

AX H T VERTREINF 'W' D'

8'-0'' 4'-0" #5 @ 24" OC 1'-6" 1'-6"

3'-0" #5 @ 32" OC 1'-6" 1'-6"

COASTAL AND/OR SDC "D"

CMU WALL

ALL MORTAR TO BE "TYPE S"

THE INLAND SCHEDULE.

ALL REINFORCING STEEL TO BE GRADE 60

BY GEOTECHNICAL REPORT IF AVAILABLE.

DIMENSIONS AND REINFORCEMENT

FOOTING

FOOTING

ALL CAST IN PLACE CONCRETE TO BE MIN fc=3000 PSI, 28 DAY COMPRESSION STRENGTH, MIN.

GROUT ALL CELLS BELOW GRADE & ALL REINF CELLS W/ 2000 PSI GROUT. SLUMP = 9" - 11"

ASSUMED MINIMUM ALLOWABLE SOIL BEARING PRESSURE IS 1500 PSF. THIS SHOULD BE VERIFIE

ALL INLAND WALLS IN SEISMIC DESIGN CATEGORY "A", "B", OR "C" SHALL BE CONSTRUCTED PER

ALL INLAND WALLS IN SEISMIC DESIGN CATEGORY "D" SHALL BE CONSTRUCTED PER THE COAS

SEE TITLEBLOCK FOR INLAND/COASTAL DESIGNATION AND USE APPROPRIATE TABLE FOR

ALL CMU TO BE 8" BLOCK UNO, MIN fm=1500 PSI, NET COMPRESSIVE STRENGTH

- | O

IOB NO: 22-331 01/12/23

DETAILS 4

ALL LANDSCAPING SHALL BE IN PLACE PRIOR TO THE CONNECTION OF PERMANENT POWER OR RECORDING OF A FINAL PLAT.

> CONTACT THE CITY MANAGER 770-599-3679 FOR A SITE INSPECTION UPON COMPLETION OF LANDSCAPE INSTALLATION.

IF THE LANDSCAPE DESIGN OR PLANT MATERIAL ARE CHANGED IN ANY WAY FROM THE SENOIA CITY PERMITTED PLAN, YOU SHALL SUBMIT TWO SETS OF REVISED PLANS TO THE CITY ARBORIST'S OFFICE FOR APPROVAL PRIOR TO ANY LANDSCAPE INSTALLATION.

CONTACT SENOIA CITY HALL AT 770-599-3679 TO ARRANGE A PRE-CONSTRUCTION CONFERENCE WITH THE CITY ARBORIST OR DESIGNATED AGENT(S) PRIOR TO ANY LAND DISTURBANCE.

ALL TREE PROTECTION AND EROSION CONTROL MEASURES MUST BE INSTALLED PRIOR TO GRADING.

UNDISTURBED BUFFERS SHALL BE REPLANTED TO BUFFER STANDARDS WHERE SPARSELY VEGETATED OR WHERE DISTURBED AT APPROVED UTILITY CROSSINGS. REPLANTINGS ARE SUBJECT TO CITY ARBORIST OR DESIGNATED AGENT(S) APPROVAL.

APPROVED BY PLANNING COMMISSION

PARKING LOT REQUIREMENT
PARKING LOT AREA = 4,478 SF PARKING LOT LANDSCAPE AREA REQUIRED = 4,478 x .08 = 358 SF

PARKING LOT LANDSCAPE AREA PROPOSED = 380 SF (REQUIREMENT MET)

EXISTING TREES WITH 12" OR LARGER DBH = 16 20% OF EXISTING TREES WITH 12" OR LARGER DBH REQUIRED TO REMAIN = 3 EXISTING TREES WITH 12" OR LARGER DBH PROPOSED TO REMAIN = 5 (REQUIREMENT MET)

<u>DISTURBED AREA REQUIREMENT</u> 1, 2.5" CAL CANOPY TREE AND 1, 1.5" UNDERSTORY TREE REQUIRED FOR EVERY 1,000 SF OF PERMANENTLY

PERMANENTLY DISTURBED AREA ON SITE = 12,956 SF

2.5" CAL CANOPY TREES REQUIRED = 13 7, 2.5"CAL TREES PROPOSED, PLUS 6 EXISTING TREES TO REMAIN = 13 (REQUIREMENT MET)

1.5" UNDERSTORY TREES REQUIRED = 13

13, 1.5"CAL TREES PROPOSED (REQUIREMENT MET)

LANDSCAPE STRIPS DENSITY REQUIREMENT
AT LEAST 60% SPATIAL COVERAGE OF TREES AND SHRUBS

LANDSCAPE AREA = 6,183 SF

PROPOSED SPATIAL COVERAGE OF PLANTINGS INSIDE LANDSCAPE STRIPS = 5,065 (82%)(REQUIREMENT MET)

LANDSCAPE AREA REQUIREMENT PLANTING REQUIREMENT
ONE TREE FOR EVERY 250 SF OF LANDSCAPE AREA; THREE SHRUBS FOR EVERY ONE TREE

LANDSCAPE AREA = 6,183 SF 25 TREES AND 75 SHRUBS REQUIRED

EXISTING TREES = 5; PROPOSED TREES = 20; TOTAL TREES ON SITE = 25 (REQUIREMENT MET)

Plant Schedule Hgt. | Width | Root | Notes Qty. Sym. Botanical Name Common Name Size 7 Quercus nutallii 2.5" cal. Nuttall Oak 10' 1.5" cal. Cercis canadensis Redbud 75 llex cornuta 'Needlepoint' Needlepoint Holly 2 Gal 3300 sf Sod 4300 sf | + + + + | Seed

DRAINPIPE W/ CAP ---NOTE: Set tree plumb prior to staking. (as specified) (as specified) 4.Rebar stake Refer to "rootball pit" detail 36" length; drive below grade subgrade SECTION

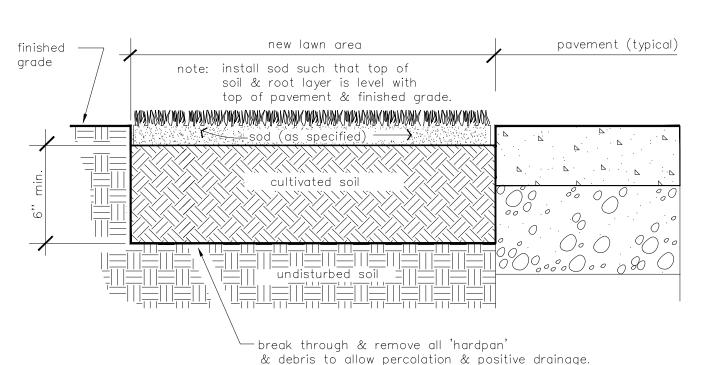
TREE STAKING & GUYING

N.T.S.

______ slope —Mulch (as specified) Planting soil mix Trench edge -Break through any existing "hard-pan" Undisturbed subgrade & remove as necessary to provide good percolation & positive drainage. PLANTING PROCEDURE

1. Lay out bed and outline with trench edge. place soil from edge within bed. 2. Rototill bed to 12" depth. spread 4" min. layer of planting soil mix over bed. rototill soil mix into top of bed. install plants & mulch. water thoroughly.

SHRUB PLANTING



SODDING PROCEDURE

1. the general contractor will provide grades to (+/-.20) of a foot of proposed grades.

2. cultivate entire area to a minimum 6" depth. handrake smooth. 3. add additives (as per soil test analysis) & rototill.

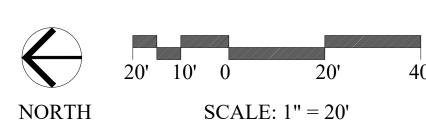
4. water area to be sodded prior to laying sod. 5. lay & roll sod. water thoroughly.

SOD INSTALLATION

N.T.S.

GENERAL PLANTING NOTES

- 1. All plants must be healthy, vigorous material, free of pests and disease.
- 2. All plants must be container-grown or balled and burlapped (B&B) as indicated in the plant list. 3. All trees must be straight trunked, full headed and meet all requirements as specified.
- 4. All plants are subject to the approval of the Landscape Architect and the Owner before, during, and after installation.
- 5. All trees must be guyed or staked as shown in the details.
- 6. All plants and planting areas must be completely mulched as specified.
- 7. Prior to construction, the Landscape Contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of work. The Landscape Contractor is responsible for repairing any and all damage to utilities, structures, site appurtenances, etc. which occurs as a result of the landscape construction.
- 8. The Landscape Contractor is responsible for verifying all quantities shown on these plans before
- 9. The Landscape Contractor is responsible for fully maintaining all planting (including, but not limited to: watering, spraying, mulching, fertilizing, etc.) of planting areas and lawns until the work is accepted in total by the Landscape Architect and the Owner.
- 10. The Landscape Contractor shall completely guarantee all plant material for a period of one (1) year beginning at the date of final acceptance. The Landscape Contractor shall promptly make all replacements before or at the end of the guarantee period (as per direction of the Owner).
- 11. The Owner agrees to perform all landscape maintenance (including watering) throughout the one
- year guarantee period unless otherwise determined. 12. The Landscape Architect will approve the staked location of all plant material prior to installation. 13. After being dug at the nursery source, all trees in leaf shall be acclimate for two (2) weeks under a
- mist system prior to installation. 14. Any plant material which dies, turns brown, or defoliates (prior to total acceptance of work) shall be promptly removed from the site and replaced with material of the same species, quantity, size and meeting all plant list specifications.
- 15. Standards set forth in 'American Standards for Nursery Stock' represent guideline specifications only, and constitute a minimum quality requirements for plant material.

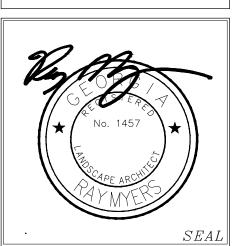


SCALE: 1'' = 20'

RAA DE SIGN, LLC Landscape Architects / Land Planners 11395 Old Roswell Road Alpharetta, Georgia 30009

> $Email \ rmyers@raa-design.com$ R E V I S I O N S02.28.23 03.28.23 04.21.23

Phone (404)352-2200



SE HOU WAFFL

01-12-23 DATEJOB NO. 2014049 SCALE1"=20'-0" DRAWN BY RM

DISCLAIMER THIS DRAWING IS THE PROPERTY OF RAA DESIGN AND
MAY NOT BE REPRODUCED WITHOUT
WRITTEN CONSENT

RAA DESIGN

SHEET

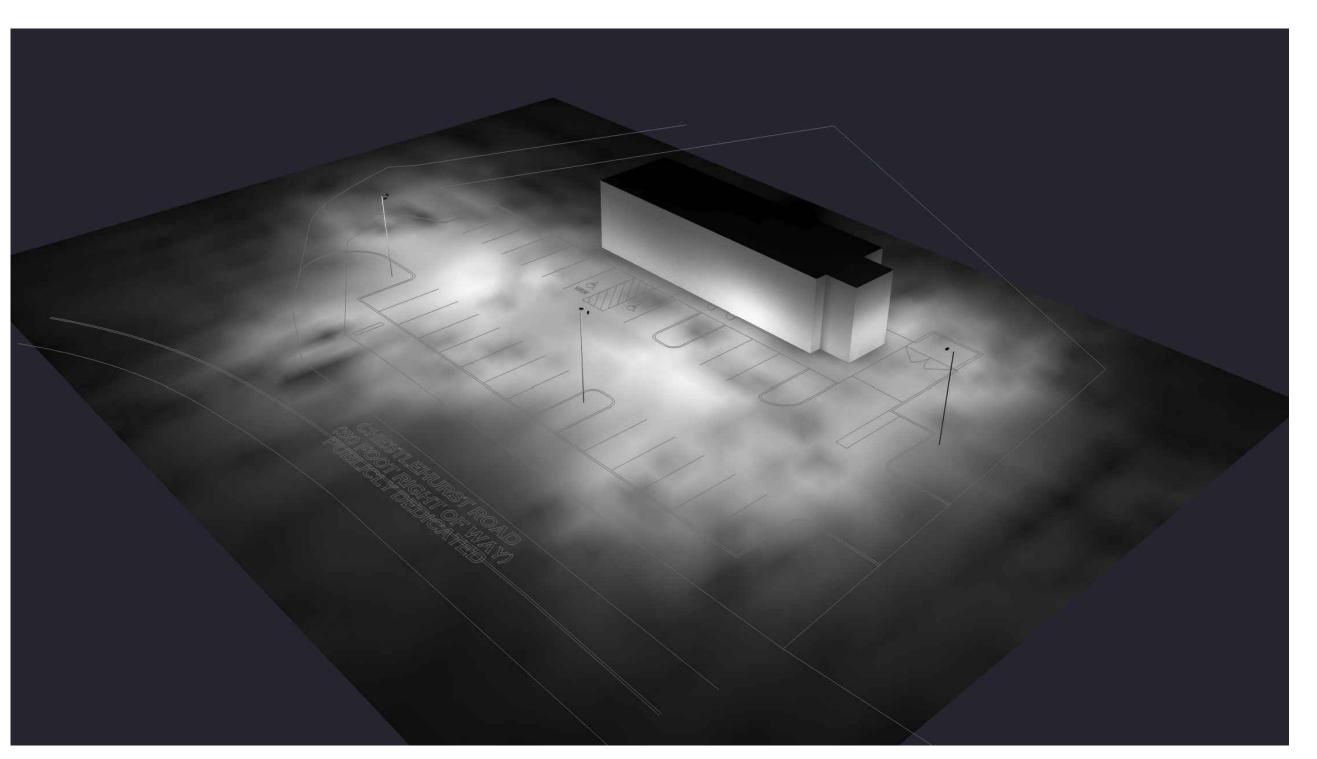
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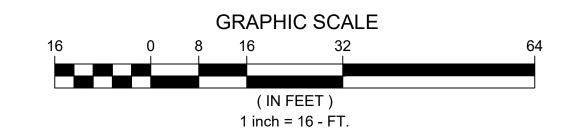
1 OF 1

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⁺ 0.0	[†] 0.0	[†] 0.0	⁺ 0.0	⁺ 0.0	0.0	[†] 0.0	⁺ 0.1	0.1	0.1	⁺ 0.1	0.0	⁺ 0.0	[†] 0.0	[†] 0.0	[†] 0.0	[†] 0.3	0.6	⁺ 1.8	[†] 1.8	[†] 1.7	[†] 1.3	⁺ 0.7	0.2	⁺ 0.1	0.1	0.1	[†] 0.0
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[†] 0.1	[†] 0.2	[†] 0.5	[†] 0.9 /	1.5	[†] 1.7	[†] 1.6	1.9	⁺ 2.9	⁺ 3.2	⁺ 3.3	[†] 3.2	2.9	3.0	⁺ 3.8	⁺ 5.2	⁺ 5.6	⁺ 4.6	[†] 3.9	⁺ 3.6	[†] 3.9	3.1	A.18	1.0	⁺ 0.6	[†] 0.3	0.1	[†] 0.1
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⁺ 0.0	⁺ 0.0	0.1	⁺ 0.1	0.1	0.2	[†] 0.1	0.2	0.5	[†] 0.6	[†] 0.6	⁺ 0.6	[†] 0.5	0.4	0.4	0.3	[†] 0.2	0.2	0.2	0.1	0.1	0.1	0.1	0.1	⁺ 0.0	[†] 0.0	⁺ 0.0	[†] 0.0
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Luminaire Schedule											
Symbol	Qty	Label	Mounting Height	LLF	Lum. Lumens	Lum. Watts	Description				
	1	A1	23' - 0" AFG	0.900	17653	135	ASL1-160L-135-5K7-4W-U				
(2	A2	23' - 0" AFG	0.900	17653	135	ASL1-160L-135-5K7-4W-U				
→	1	В	12' - 0" AFG	0.900	2862	25	LNC2-48L-25-4K7-4W-UNV-DBT				

Calculation Summary										
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min			
Overall Area	Illuminance	Fc	1.17	8.0	0.0	N.A.	N.A.			
Parking Area	Illuminance	Fc	4.70	8.0	0.7	6.71	11.43			



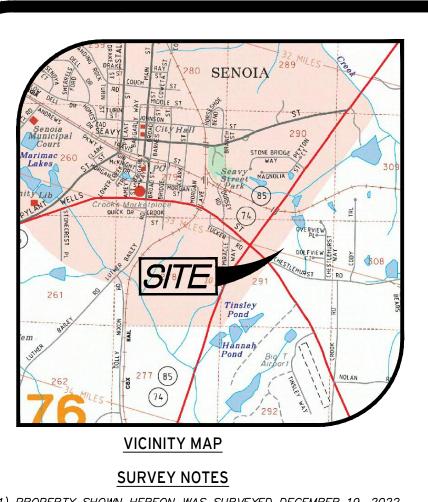


1. THIS LIGHTING DESIGN IS BASED ON LIMITED INFORMATION SUPPLIED BY OTHERS TO CURRENT. SITE DETAILS PROVIDED HEREON ARE REPRODUCED ONLY AS A VISUALIZATION AID. FIELD DEVIATIONS MAY SIGNIFICANTLY AFFECT PREDICTED PERFORMANCE. PRIOR TO INSTALLATION, CRITICAL SITE INFORMATION (POLE LOCATIONS, ORIENTATION, MOUNTING HEIGHT, ETC.) SHOULD BE COORDINATED WITH THE CONTRACTOR AND/OR SPECIFIER RESPONSIBLE FOR THE PROJECT.

LUMINAIRE DATA IS TESTED TO INDUSTRY STANDARDS UNDER LABORATORY CONDITIONS. OPERATING VOLTAGE AND NORMAL MANUFACTURING TOLERANCES OF LAMP, BALLAST, AND LUMINAIRE MAY AFFECT FIELD RESULTS.
 CONFORMANCE TO FACILITY CODE AND OTHER LOCAL REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.

WAFFLE HOUSE SENOIA, GA SITE PHOTOMETRIC PLAN

REVISED FROM DRA	AWING NUMBER(S):		DN BY:	DATE:	CHK BY:
: 01/04/23			DHK	12/21/22	N/A
: 01/12/23		Current @	REV. BY:	DATE: 01/12/23	SCALE: AS NOTED
		3 3.1. 3 1.13	QUOTE: N/A	DRAWING / DESIGN NO	
			IN/A	A2214	·/9RZ



- 1) PROPERTY SHOWN HEREON WAS SURVEYED DECEMBER 19, 2022.
- 2) THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1' IN 37,491' WITH AN ANGULAR ERROR OF 3.21 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD.
- 3) A SOKKIA IX TOTAL STATION, CARLSON BRX7 GPS RECEIVER, AND CARLSON SURVEYOR+ DATA COLLECTOR WERE USED FOR FIELD SURVEY MEASUREMENTS.
- 4) THIS PLAT HAS A MAP CLOSURE OF 1' IN 100,000+'. 5) SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA
- HAVING A ZONE DESIGNATION X ON FLOOD INSURANCE RATE MAP NO. 13077C0291D. WITH A DATE OF IDENTIFICATION OF FEBRUARY 06. 2013. FOR COMMUNITY NUMBER 130301, IN THE CITY OF SENOIA, STATE OF GEORGIA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.
- 6) CONTROL AND BEARING BASIS FOR THIS SURVEY WERE ÉSTABLISHED USING A CARLSON BRX7 GPS RECEIVER UTILIZING OPUS-S FOR POST PROCESSING. THE RELATIVE POSITIONAL ACCURACY, AS CALCULATED ACCORDING TO THE FEDERAL GEOGRAPHIC DATA COMMITTEE PART 3: NATIONAL STANDARD FOR SPATIAL DATA ACCURACY, IS .03 FEET HORIZONTAL AND .05 FEET VERTICAL AT THE 95% CONFIDENCE LEVEL.
- 7) UTILITIES SHOWN PER MARKINGS PLACED BY UTILITY—MARKING, L.L.C.. UTILITIES OTHER THAN THOSE SHOWN HEREON MAY EXIST. LOWERY & ASSOCIATES MAKES NO GUARANTEE AS TO THE EXISTENCE OR NON-EXISTENCE OF SAID UTILITIES.
- 8) NO OBSERVED EVIDENCE OF CEMETERIES, GRAVESITES, AND/OR BURIAL GROUNDS AT TIME OF SURVEY.
- 9) PROPERTY SHOWN HEREON LIES WITHIN THE RECORD DESCRIPTION AS STATED IN GENERAL WARRANTY DEED RECORDED IN DEED BOOK 3786, PAGE 593, COWETA COUNTY RECORDS.
- 10) THIS DESCRIBES THE SAME PROPERTY AS DESCRIBED IN FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO: NCS-1141861-ORL, DATED July 29, 2022 at 8:00 AM.
- 11) NO ENCROACHMENTS OTHER THAN THOSE SHOWN HEREON WERE OBSERVABLE AT TIME OF SURVEY.
- 12) AT THE TIME OF THE SURVEY. THERE WAS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- 13) AT THE TIME OF THE SURVEY THERE WERE NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES OR OBSERVABLE EVIDENCE OF STREET OR SIDEWALK REPAIRS.
- 14) AT THE TIME OF THE SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF THE SITE BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- 15) SUBJECT PROPERTY HAS DIRECT ACCESS TO CHESTLEHURST RÓAD, BEING A PUBLICLY DEDICATED RIGHT OF WAY.
- 16) SUBJECT PROPERTY IS CONTIGUOUS TO ALL ADJACENT PROPERTIES AND RIGHTS OF WAY. NO GAPS, GORES, OR OVERLAPS ARE KNOWN TO EXISTS.

PER ITEMS 6(A) AND 6(B) OF THE 2021 ALTA/NSPS LAND TITLE SÚRVEY MINIMUM STANDARD DETÁIL REQUIREMENTS, SETBACKS AND OTHER ZONING RESTRICTIONS/REQUIREMENTS CANNOT BE LISTED UNLESS A ZONING REPORT OR LETTER STATING SAID RESTRICTIONS/REQUIREMENTS IS PROVIDED.

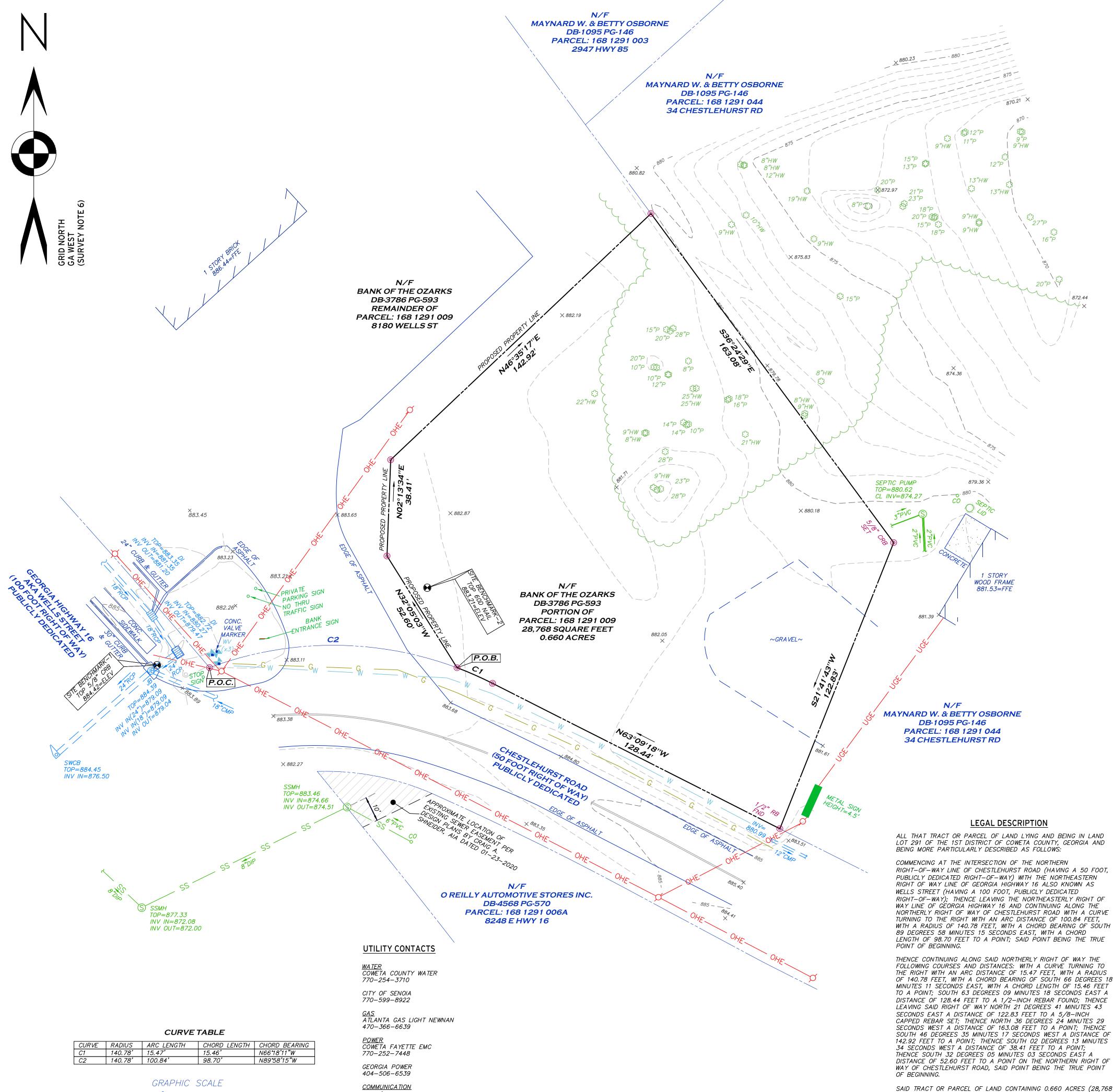
SURVEYOR'S CERTIFICATION

AS REQUIRED BY SUBSECTION (D) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR. THIS PLAT HAS BEEN APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS THAT REQUIRE PRIOR APPROVAL FOR RECORDING THIS TYPE OF PLAT OR ONE OR MORE OF THE APPLICABLE LOCAL JURISDICTIONS DO NOT REQUIRE APPROVAL OF THIS TYPE OF PLAT. FOR ANY APPLICABLE LOCAL JURISDICTION THAT REQUIRES APPROVAL OF THIS TYPE OF PLAT, THE NAMES OF THE INDIVIDUALS SIGNING OR APPROVING THIS PLAT, THE AGENCY OR OFFICE OF THAT INDIVIDUAL, AND THE DATE OF APPROVAL ARE LISTED IN THE APPROVAL TABLE SHOWN HEREON. FOR ANY APPLICABLE LOCAL JURISDICTION THAT DOES NOT REQUIRE APPROVAL OF THIS TYPE OF PLAT, THE NAME OF SUCH LOCAL JURISDICTION AND THE NUMBER OF THE APPLICABLE ORDINANCE OR RESOLUTION PROVIDING THAT NO SUCH APPROVAL IS REQUIRED ARE LISTED IN THE APPROVAL TABLE SHOWN HEREON. SUCH APPROVALS, AFFIRMATIONS, OR ORDINANCE OR RESOLUTION NUMBERS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

TO WAFFLE HOUSE, INC., A GEORGIA CORPORATION AND FIRST AMERICAN TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-5, 6(B), 7(A), 8-9, 11(A), 13, 16-18 OF TABLE A THEREOF. THE FIELD WORK WAS





305-409-1542

678–708–7112

COMCAST

1 Inch = 20 Feet

TITLE EXCEPTIONS

FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO.: NCS-1141861-ORL

9"HW

12"P

18"P

874.36

879.36 X

WOOD FRAME

LEGAL DESCRIPTION

SQUARE FEET).

COMMITMENT DATE: JULY 29, 2022 AT 8:00 AM

12. RIGHT-OF-WAY EASEMENT FROM W. B. TINSLEY, JR. TO GEORGIA POWER COMPANY, DATED FEBRUARY 5, 1948 AND RECORDED MAY 14. 1948 IN DEED BOOK 50, PAGE 201, RECORDS OF THE SUPERIOR COURT OF COWETA COUNTY, GEORGIA. —SAID DOCUMENT DESCRIBES AN EASEMENT FOR AN ELECTRIC LINE. ALSO INCLUDES THE RIGHT OF ENTRY TO ACCESS SAID LINE. SAID EASEMENT IS VAGUE IN DESCRIPTION, UNABLE TO DETERMINE RELATIONSHIP TO SUBJECT PROPERTY. SAID EASEMENT AND RIGHTS MAY AFFECT THE SUBJECT PROPERTY.

13. EASEMENT FROM W. B. TINSLEY TO GEORGIA POWER COMPANY, DATED FEBRUARY 5, 1948, FILED FEBRUARY 24, 1950 AND RECORDED IN DEED BOOK 58, PAGE 39, AFORESAID RECORDS. -SAID DOCUMENT DESCRIBES AN EASEMENT FOR AN ELECTRIC LINE. ALSO INCLUDES THE RIGHT OF ENTRY TO ACCESS SAID LINE. SAID EASEMENT IS VAGUE IN DESCRIPTION, UNABLE TO DETERMINE RELATIONSHIP TO SUBJECT PROPERTY. SAID EASEMENT AND RIGHTS MAY AFFECT THE SUBJECT PROPERTY.

14. RIGHT-OF-WAY EASEMENT FROM MRS. W. B. TINSLEY TO GEORGIA POWER COMPANY, DATED NOVEMBER 2, 1951 AND RECORDED NOVEMBER 8, 1951 IN DEED BOOK 60, PAGE 232, AFORESAID RECORDS. -SAID DOCUMENT DESCRIBES AN EASEMENT FOR AN ELECTRIC LINE. ALSO INCLUDES THE RIGHT OF ENTRY TO ACCESS SAID LINE. SAID EASEMENT IS VAGUE IN DESCRIPTION, UNABLE TO DETERMINE RELATIONSHIP TO SUBJECT PROPERTY. SAID EASEMENT AND RIGHTS MAY AFFECT THE SUBJECT

15. RIGHT-OF-WAY EASEMENT FROM MRS. W. B. TINSLEY TO GEORGIA POWER COMPANY, DATED NOVEMBER 29, 1951 AND RECORDED DECEMBER 4, 1951 IN DEED BOOK 60, PAGE 249, AFORESAID RECORDS. -SAID DOCUMENT DESCRIBES AN EASEMENT FOR AN ELECTRIC LINE. ALSO INCLUDES THE RIGHT OF ENTRY TO ACCESS SAID LINE, SAID FASEMENT IS VAGUE IN DESCRIPTION, UNABLE TO DETERMINE RELATIONSHIP TO SUBJECT PROPERTY. SAID EASEMENT AND RIGHTS MAY AFFECT THE SUBJECT

16. EASEMENT FROM MRS. MARGARET TINSLEY TO GEORGIA POWER COMPANY, DATED OCTOBER 30, 1952 AND RECORDED DECEMBER 19, 1952 IN DEED BOOK 63, PAGE 217, AFORESAID RECORDS. -SAID DOCUMENT DESCRIBES AN EASEMENT FOR AN ELECTRIC LINE. ALSO INCLUDES THE RIGHT OF ENTRY TO ACCESS SAID LINE. SAID EASEMENT IS VAGUE IN DESCRIPTION, UNABLE TO DETERMINE RELATIONSHIP TO SUBJECT PROPERTY. SAID EASEMENT AND RIGHTS MAY AFFECT THE SUBJECT

17. EASEMENT FROM W. B. TINSLEY TO GEORGIA POWER COMPANY, DATED APRIL 25, 1962, FILED APRIL 26, 1962 AND RECORDED IN DEED BOOK 106, PAGE 124, AFORESAID RECORDS. -SAID DOCUMENT DESCRIBES AN EASEMENT FOR AN ELECTRIC LINE. ALSO INCLUDES THE RIGHT OF ENTRY TO ACCESS SAID LINE. SAID EASEMENT IS VAGUE IN DESCRIPTION, UNABLE TO DETERMINE RELATIONSHIP TO SUBJECT PROPERTY. SAID EASEMENT AND RIGHTS MAY AFFECT THE SUBJECT PROPERTY.

18. EASEMENTS AS CONTAINED IN THAT CERTAIN UNDATED RIGHT OF WAY DEED FROM W. B. TINSLEY, ET AL. TO COWETA COUNTY, A POLITICAL SUBDIVISION OF THE STATE OF GEORGIA. FILED NOVEMBER 19. 1969 AND RECORDED IN DEED BOOK 170, PAGE 88, AFORESAID RECORDS. -SAID DOCUMENT DESCRIBES A CONVEYANCE OF PROPERTY FOR AN 80-FOOT THE RIGHT OF WAY. SAID CONVEYANCE DOES NOT AFFECT THE SUBJECT

19. RIGHT-OF-WAY EASEMENT FROM MAYNARD OSBORNE TO GEORGIA POWER COMPANY, DATED JUNE 12, 1980, FILED AUGUST 14, 1980 AND RECORDED IN DEED BOOK 319, PAGE 505, AFORESAID RECORDS. -SAID DOCUMENT DESCRIBES AN EASEMENT FOR AN ELECTRIC LINE. ALSO INCLUDES THE RIGHT OF ENTRY TO ACCESS SAID LINE. SAID EASEMENT IS VAGUE IN DESCRIPTION, UNABLE TO DETERMINE RELATIONSHIP TO SUBJECT PROPERTY. SAID EASEMENT AND RIGHTS MAY AFFECT THE SUBJECT

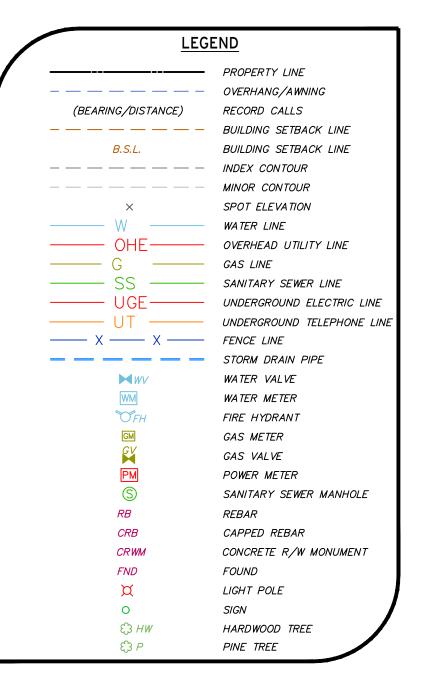
20. CONVEYANCE OF ACCESS RIGHTS FROM FARMERS & MERCHANTS BANK OF SENOIA TO THE DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA, DATED JUNE 25, 1985, FILED SEPTEMBER 10, 1985 AND RECORDED IN DEED BOOK 388, PAGE 450, AFORESAID RECORDS. -SAID DOCUMENT DESCRIBES A CONVEYANCE OF ACCESS RIGHTS ALONG STATE ROUTE 16. SAID CONVEYANCE DOES NOT AFFECT SUBJECT PROPERTY. 21. EASEMENT AGREEMENT BY AND BETWEEN FARMERS AND MERCHANTS COMMUNITY BANK F/K/A FARMERS AND MERCHANTS BANK OF SENOIA AND THE CITY OF SENOIA, DATED DECEMBER 18, 2002, FILED DECEMBER 20, 2002 AND RECORDED IN DEED BOOK 2067, PAGE 138, AFORESAID RECORDS. -SAID DOCUMENT DESCRIBES A 20-FOOT-WIDE SANITARY SEWER EASEMENT. SAID EASEMENT DOES NOT AFFECT SUBJECT PROPERTY. 22. CONSTRUCTION AND MAINTENANCE EASEMENT FROM FIRST CHOICE COMMUNITY BANK 1874 F/K/A FARMERS AND MERCHANTS COMMUNITY BANK F/K/A FARMERS AND MERCHANTS BANK OF SENOIA TO THE DEPARTMENT OF TRANSPORTATION, DATED JULY 26, 2007, FILED JULY 31, 2007 AND RECORDED IN DEED BOOK 3227, PAGE 736, AFORESAID RECORDS. -SAID DOCUMENT DESCRIBES AN EASEMENT FOR THE CONSTRUCTION AND MAINTENANCE OF SLOPES. SAID EASEMENT DOES NOT AFFECT SUBJECT PROPERTY.

23. JOINT DEVELOPMENT AND EASEMENT AGREEMENT BY AND AMONG MCDONALD'S USA, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND FIRST CHOICE COMMUNITY BANK 1874. AND MAYNARD OSBORNE AND BETTY OSBORNE, DATED JULY 24,2007, FILED AUGUST 1, 2007 AND RECORDED IN DEED BOOK 3229, PAGE 53, AFORESAID RECORDS. -SAID DOCUMENT DESCRIBES A DEVELOPMENT AGREEMENT AND AN ACCESS DRIVEWAY EASEMENT. SAID AGREEMENT AND EASEMENT DOES NOT AFFECT SUBJECT PROPERTY.

24. JOINT USE DRIVEWAY AGREEMENT BY AND AMONG FIRST CHOICE COMMUNITY BANK 1874, MAYNARD OSBORNE AND BETTY OSBORNE, AND THE DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA, JULY 18, 2007, FILED SEPTEMBER 12, 2007 AND RECORDED IN DEED BOOK 3248, PAGE 642, AFORESAID RECORDS. —SAID DOCUMENT DESCRIBES A JOINT USE DRIVEWAY AGREEMENT. SAID AGREEMENT DOES NOT AFFECT SUBJECT

25. ALL MATTERS AFFECTING THE SUBJECT PROPERTY AS SHOWN ON THE FOLLOWING PLAT(S), AFORESAID RECORDS.

(A) PLAT BOOK 32, PAGE 201. -NO ADDITIONAL MATTERS AFFECT SUBJECT PROPERTY.



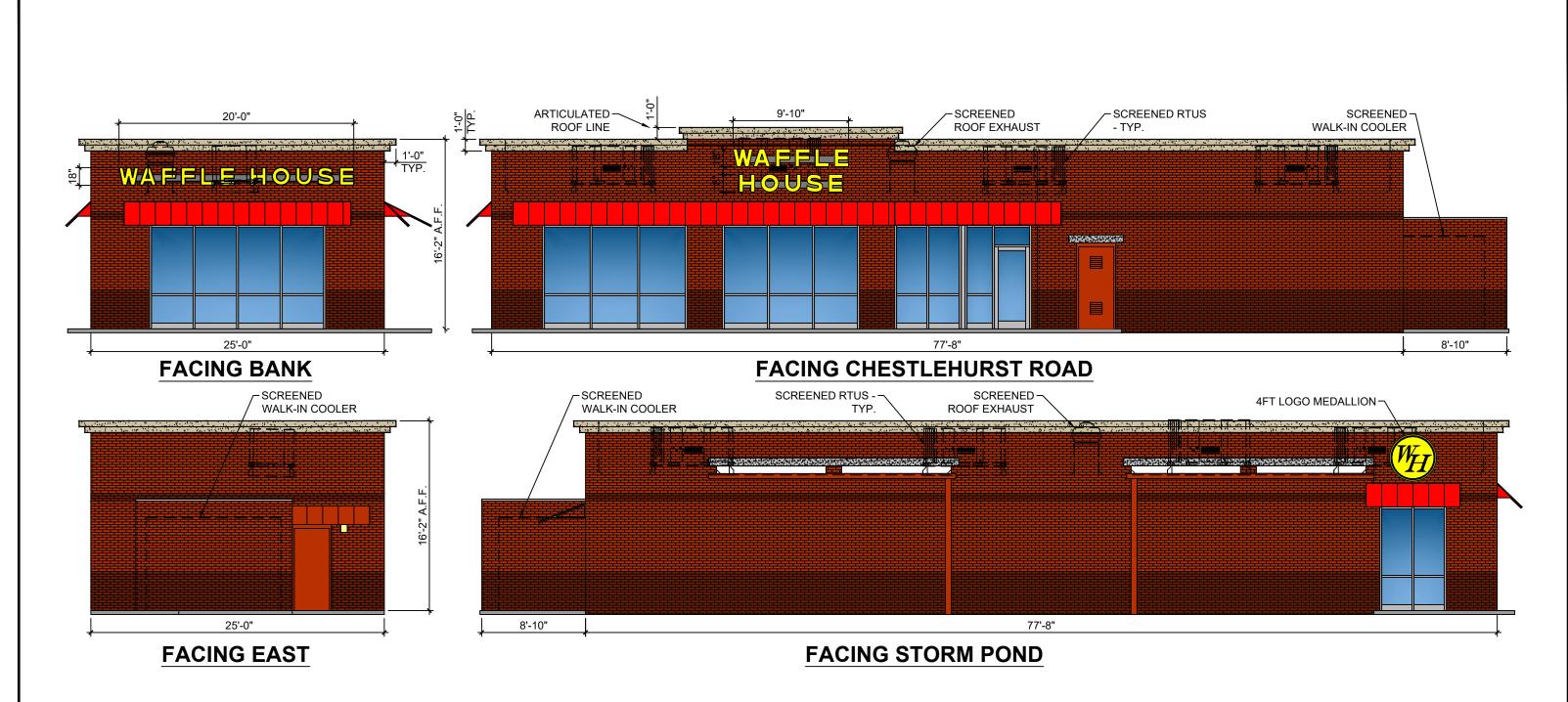
REVISIONS

DESCRIPTION 01/09/23 -ADD BENCHMARK 03/16/23 -ADD TOPO



SCALE: 1"=20'

DRAWN BY: D. HALL



SCALE: 1/8"=1'-0"

BUILDING DESCRIPTION:

LEFT HAND, MEDIUM PARAPET, BW3 BUILDING
CLAY BRICK VENEER, DARK BRICK VENEER BASE AND ACCENT STRIPE,
STEPPED EFIS CORNICE, ARTICULATED ROOF LINE,
RED STANDING-SEAM METAL AWNING



SENOIA, GA

PROPOSED WAFFLE HOUSE

DATE: 4/18/2023