



3/4/2024

To: Mayor and Council

RE: Staff Report – Tractor Supply Commercial Corridor Overlay Variances

Tractor Supply has submitted an application for relief from the commercial corridor overlay standards listed below for a total of 13 variances. Numbers 1 through 4 of this report are related to siteplan and landscape plan variances while 5 through 11 are related to building materials variances.

1. Section 74-191(b) - waive requirement for building to incorporate live plant materials as foundation plantings on all building facades.

Applicant is proposing to mitigate the foundation plantings requirement with planter boxes along the front façade and one extra landscape island along the west façade. The east façade foundation will be blocked by the fenced outdoor display (FOD) area and the rear façade foundation is not visible from the internal road and will only be visible from a few parking spaces near the Publix pharmacy which will be mitigated by landscaping provided at the property line. Additionally the rear of the building is an area for loading and unloading and foundation plantings will not be feasible in loading areas. Approval of this variance will be consistent with prior decisions and will not negatively impact the surrounding tracts.

2. Section 74-191(d) – **2 variances**

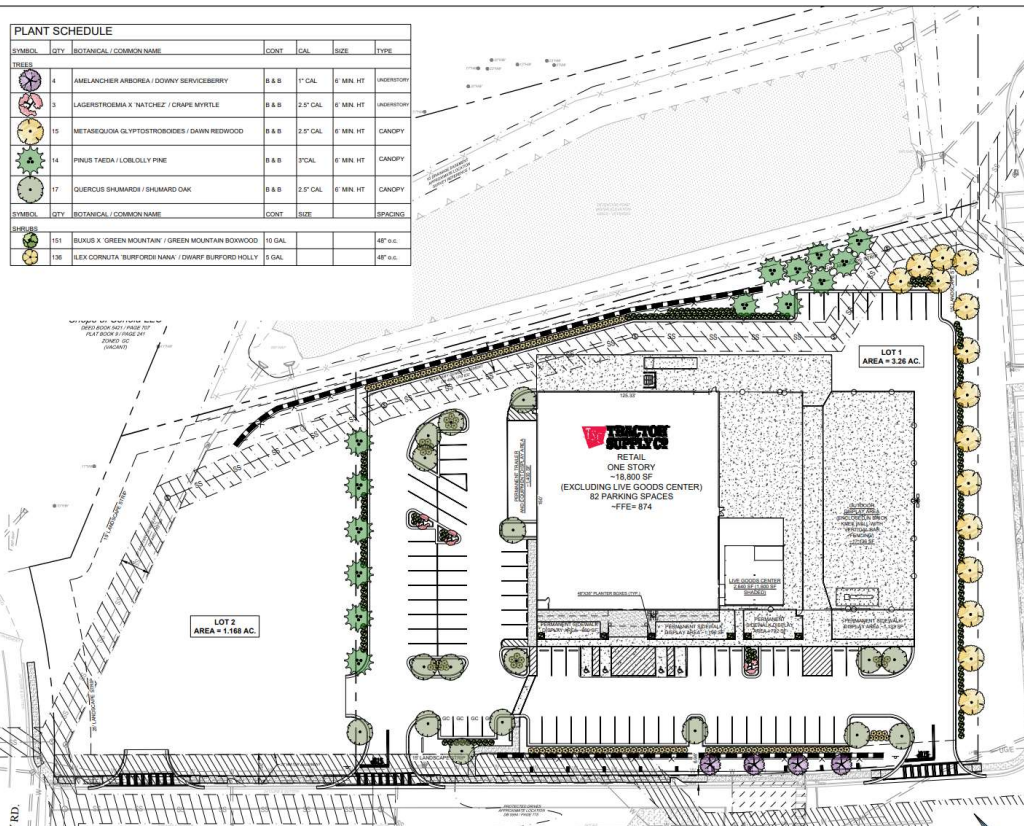
- a. Reduce the required landscape buffer along the internal roadway from 20 feet to 15 feet.
- b. Reduce required landscape buffer along western property line between Tractor Supply and adjacent out parcel from 15 feet to 7.5 feet with both sides installing 7.5 feet on their side of the line for an overall width of the landscape strip between out parcels at 15 feet.

Staff conducted an audit of the width of installed landscape buffers within the shopping center and found the landscaping widths installed to be inconsistent with the required width of buffers per ordinance.

The average width of landscaping installed along the private internal roadway was found to be 16 feet with the smallest width measuring only 5.4 feet. The average width of landscaping between parcels was 25 feet however not centered upon the property lines as in the case between Chick-Fil-A and Piedmont where landscaping is all on one side of the line.

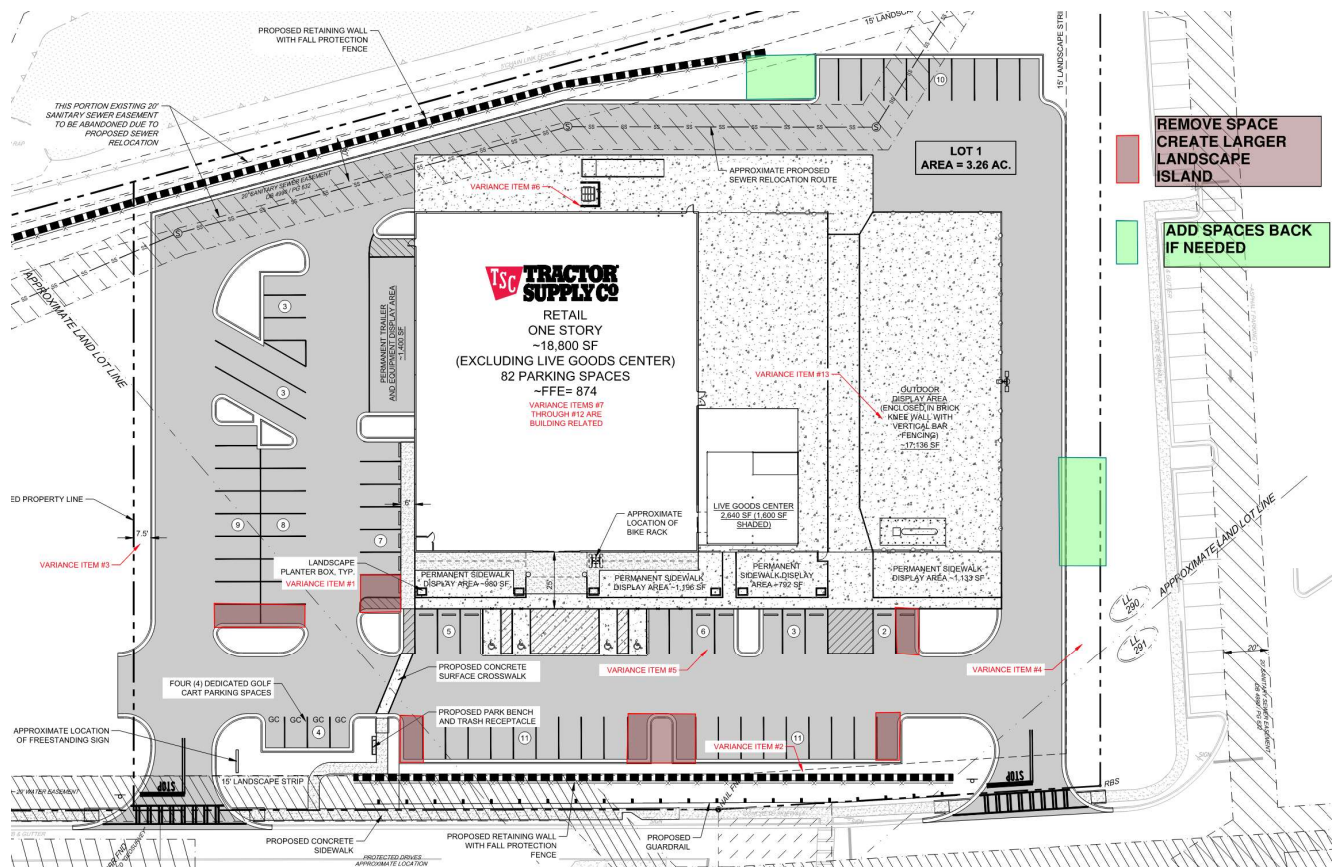


Therefore approval of both requested variances will be consistent with what has been installed/approved within the shopping center to date and will not negatively impact the surrounding tracts. The image below demonstrates the inconsistent landscape widths for reference.





The image below shows the parking layout and indicates areas where parking spaces could be removed and landscape islands enlarged shown in red. The green areas are locations where possible parking could be added back to achieve the 50% maximum parking in FRONT.



4. Section 74-199 – Reduce amount of greenspace required from 20% to 17%

The applicant is requesting to provide 3% less greenspace while still providing a fully landscaped site. The site layout as presented is what is needed for parking, storage, and vehicle circulation per Tractor Supply. If additional greenspace is provided, then either the size of the out parcel will be reduced or less parking provided and Tractor Supply contends that as presented the proposed parking (81 spaces) is needed. Allowing a reduction of greenspace will also allow the out parcel to be larger and similar in size to the other out



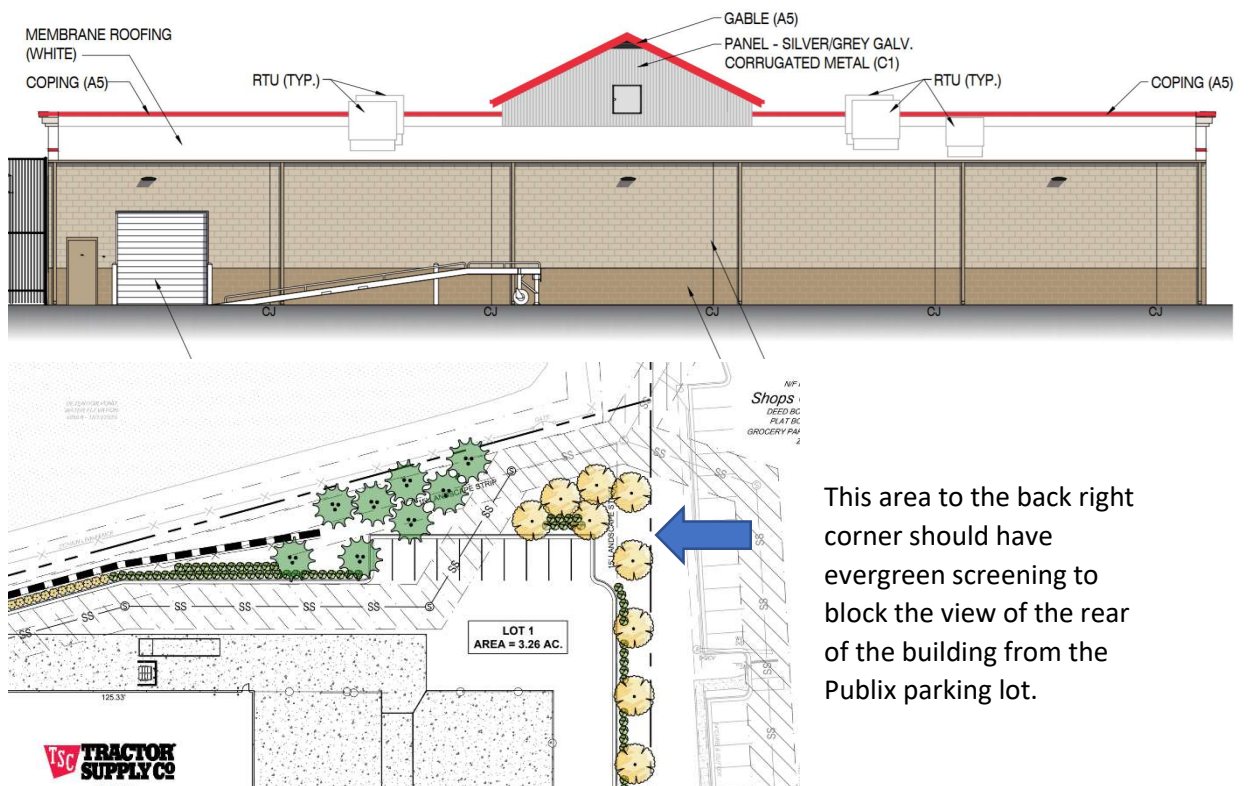
parcels within the development. Approval of this variance will not negatively impact the surrounding tracts.

- 5. Section 74-188 (a)[3](c) – to allow the rear façade of the building to be a finish of smooth faced block painted to match the color and pattern of the brick versus brick as proposed on the other three sides.

Approval of this variance is consistent with what was previously approved for Publix and the rear façade will not be visible from adjacent tracts or the internal roadway but a portion of it

will be visible from the adjacent parking areas on the west side of Publix near the pharmacy drive thru. Although it will be visible from this area, it will be painted to match the brick so it will blend and additionally the view from Publix parking area will be mitigated by landscaping in the back right corner.

If approved, consider requiring evergreen trees in the back right landscape buffer to provide year round screening of the back of the building from the adjacent parking area near Publix pharmacy drive-thru.



This area to the back right corner should have evergreen screening to block the view of the rear of the building from the Publix parking lot.



6. Section 74-198 – to waive the requirement that the dumpster enclosure materials be brick, stone, or stucco and allow to match the rear façade proposed to be painted smooth block, which is variance in number 5 above.

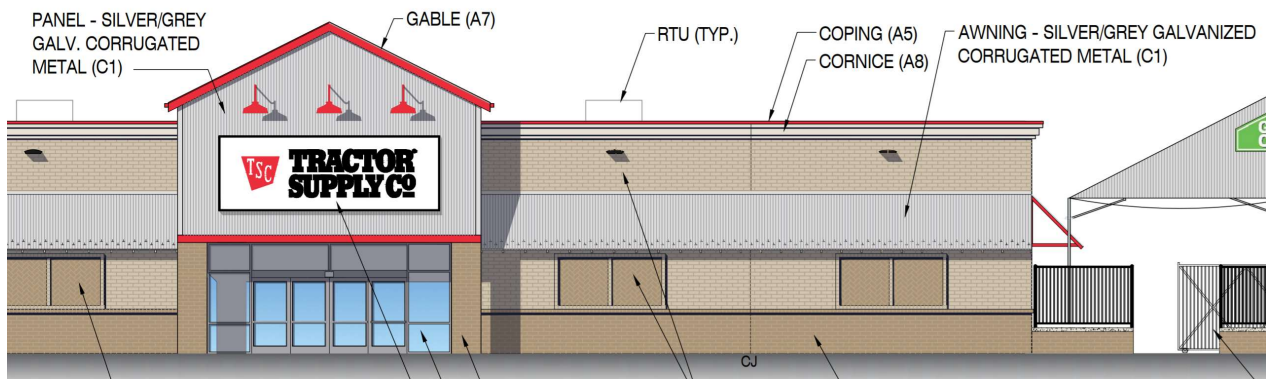
If variance number 5 above is approved then this variance should also be considered for approval. The dumpster enclosure is proposed as smooth block walls painted to match the primary structure which will match the building material for the back wall if variance number 5 is approved. Again the dumpster will only be visible from the Publix parking areas near the pharmacy drive thru and can be mitigated with landscaping to screen the view. Approval of this variance will not negatively impact the surrounding tracts.

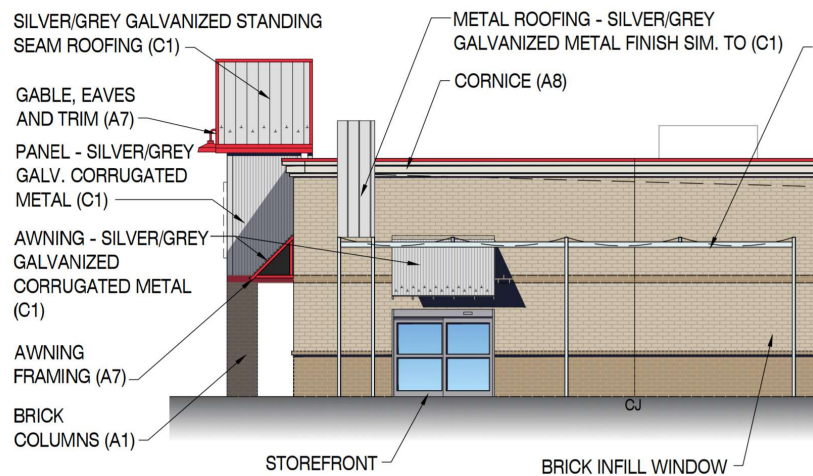
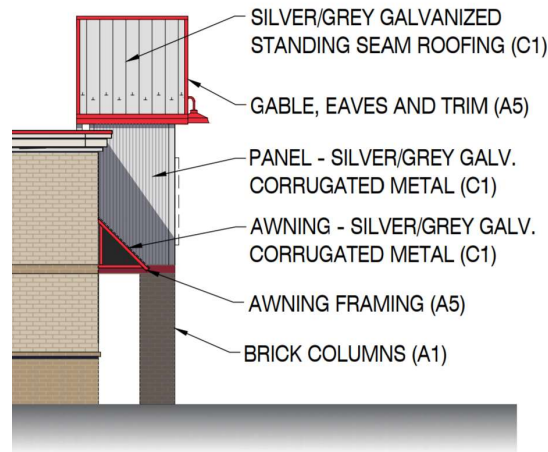
7. Section 74-188 (a)[3](d) – to waive the requirement for the parapet on the rear façade

The rear of the building will not be visible from the adjacent tracts, the internal roadway tracts or internal parking areas except for the one area near Publix pharmacy. If variance number 5 listed above is approved with required evergreen screening along the back right corner then this variance should also be considered for approval. Approval of this variance will not negatively impact the surrounding tracts.

8. Section 74-188(a)(1) – Building Materials - **2 variances**

- a. To allow the use of heavy gauge corrugated metal panels on the front and side façade entry tower and awnings.
- b. To exceed 10% in accent material on the front façade for EFIS cornices and metal on entry tower and awnings.



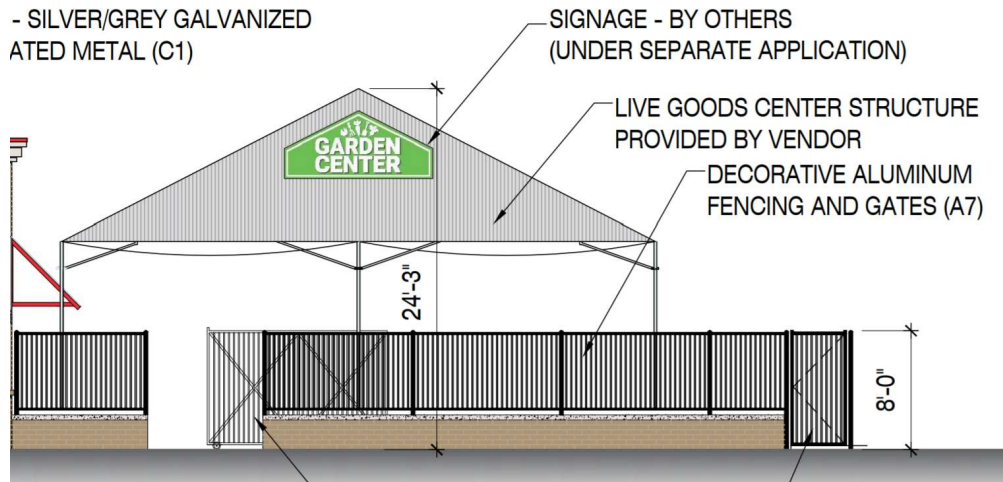


The use of corrugated metal panels on the entry tower and garden canopy, standing seam metal roof for roof for the entry tower and garden canopy, and the corrugated metal awnings are all corporate brand finish associated with all Tractor Supply stores. The overlay only allows brick, stone and stucco and specifically excludes these materials listed above. The corrugated metal panels are galvanized heavy gauge metal not aluminum or plastic.

The use of the metal awnings on the front façade will require an additional variances since the combination of EFIS and metal accent will exceed 10%. Approval of these requested variances for materials will not negatively impact the surrounding tracts.



9. Section 74-188 (b) – to allow the garden center to be constructed of prefabricated aluminum framing, translucent panels, with a canopy façade matching the metal on the tower entrance and with a covered fabric shaded area located inside the fenced outdoor display (FOD) area.



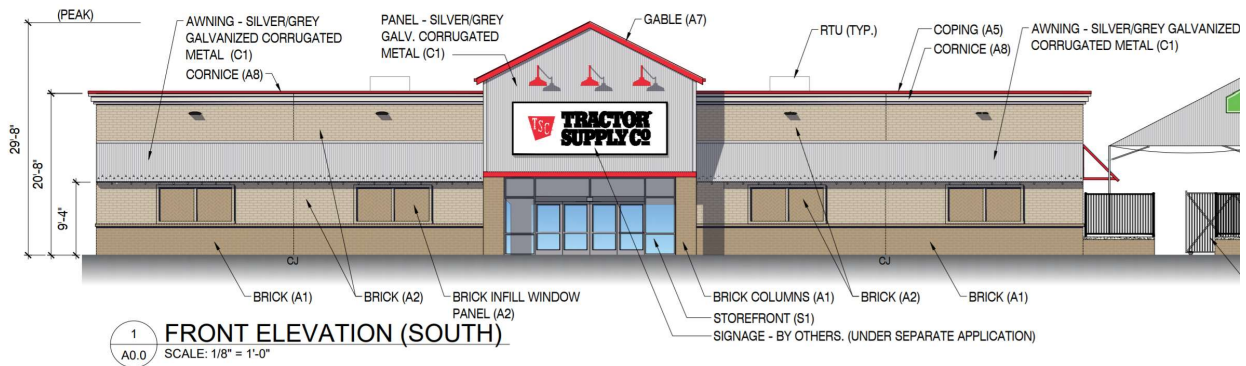
Picture provided for reference.
Canopy façade will match the metal panels on the entry tower.

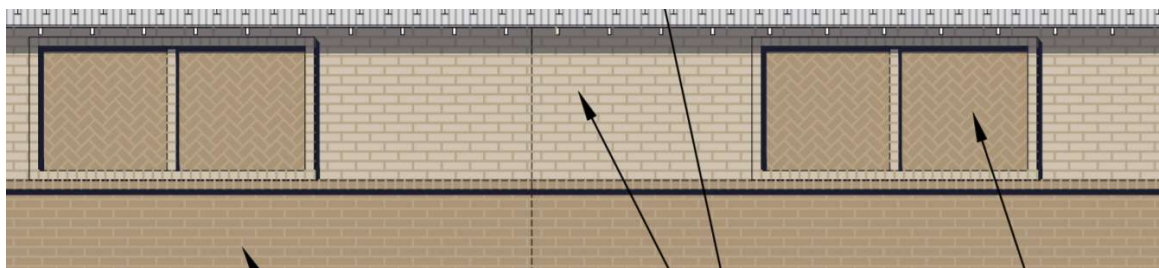
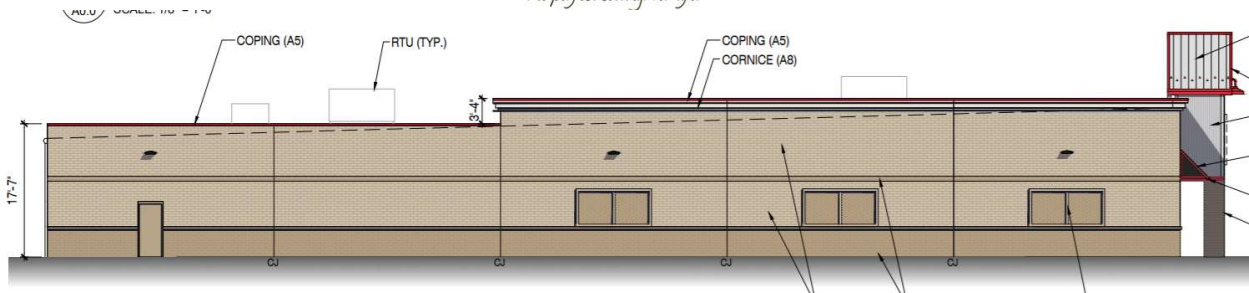


The materials proposed for the Garden Center are corporate brand finish associated with Tractor Supply stores. These materials include: aluminum frames and translucent panels with a metal canopy to match the building and a fabric shade covered area. Approval of this variance will not negatively impact the surrounding tracts.

- 10. Section 74-188 (a)[3](g) – to waive the required minimum percentage of windows on the primary and secondary facades and allow the windowless walls. For the sides visible to the parking areas and internal roadway the applicant is proposing decorative faux windows with the brick pattern as mitigation for not providing real windows.

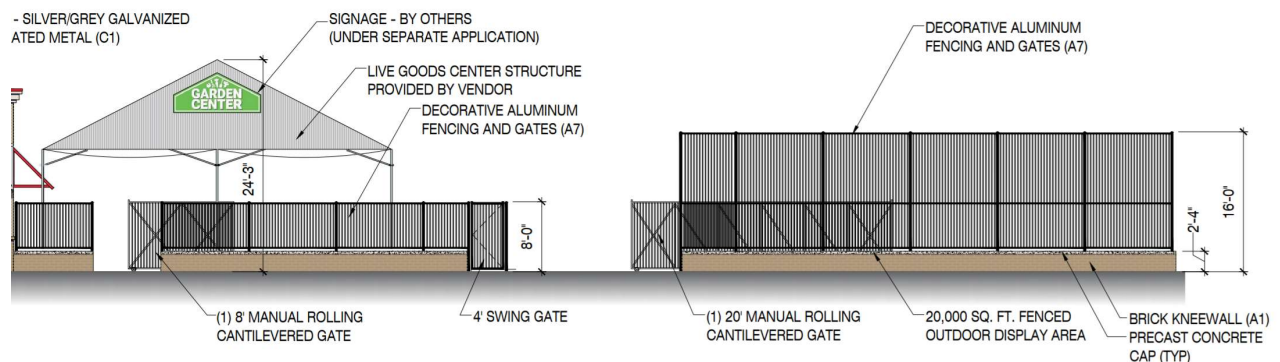
The overlay requires 60% windows for storefronts and does not allow blank windowless walls on the primary or secondary facades. The front and both sides of the building will need a variance from this section. Applicant has proposed the use of "faux windows" in the brick pattern on the front and both sides. Approval of this variance is consistent with recent variances granted will not negatively impact the surrounding tracts.





- Section 74-195 (a) - to allow unenclosed outside storage in the FOD area to be enclosed with an ornamental "wrought iron look" aluminum fence and brick knee wall instead of a full height brick wall on the front and side façade and to allow the FOD area to only have ornamental fencing on rear façade with no knee wall.

The proposed decorative aluminum fence with brick knee wall (front and side) will meet the intent of the ordinance for screening the outdoor display area and also the needs of Tractor Supply to provide security for items stored within this area. Approval of this variance will not negatively impact the surrounding tracts.





4 RIGHT SIDE ELEVATION (EAST)
A.0.0 SCALE: 1/8" = 1'-0"

