



6/28/2023

To: Mayor and Council

RE: Staff Recommendations - 354 Johnson Street –Variance

The applicant has submitted a variance application for development standards listed below.

Sec. 74-265 – Accessory uses and structures

(9). When an accessory structure is attached to the principal building by a breezeway, passageway or similar means, the accessory structure shall comply with the yard requirements of the principal building to which it is accessory. **No breeze way or passageway that connects a primary structure to an accessory structure or detached garage shall extend further than 20 feet.**

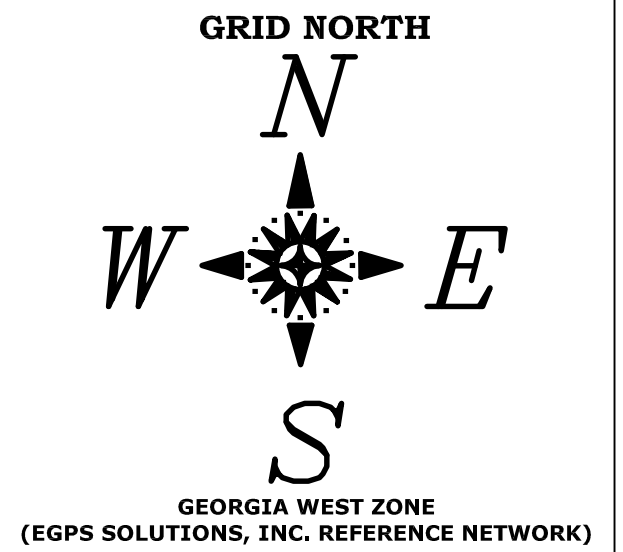
The applicant proposes to install a breezeway that is longer than the maximum allowed by ordinance due to the existing lot configuration and lot width. The proposed breezeway connecting the house and detached garage will exceed 20 feet.

BREEZEWAY BETWEEN HOUSE AND DETACHED GARAGE	
MAX ALLOWED LENGTH	PROPOSED LENGTH
20 FT	55 FT

STAFF RECOMMEND APPROVAL OF VARIANCE AS REQUESTED

- A hardship does exist that was not created by the applicant (lot width and configuration),
- No negative impacts is recognized by approving this variance,
- Applicant meets all other ordinance requirements and will be required to obtain a Certificate of Appropriateness prior to permit issuance.

See attached house and site plan for reference.



N/F
KEG CREEK LANDING LLC.
(D.B. 4726/800)
(P.B. 42/170)

LAND LOT 289

LAND LOT 290

APPROXIMATE LAND LINE
(TAKEN GRAPHICALLY FROM P.B. 42/170)

N/F
DIVIDO
(D.B. 4696/335)

LOT 1
1.371 AC.
(59,718 SQ. FT.)

N/F
KEG CREEK LANDING LLC.
(D.B. 4726/800)
(P.B. 42/170)

N/F
DIVIDO
(D.B. 4696/335)
(P.B. 55/102)

N/F
DODSON
(D.B. 4872/438)
(P.B. 97/224)

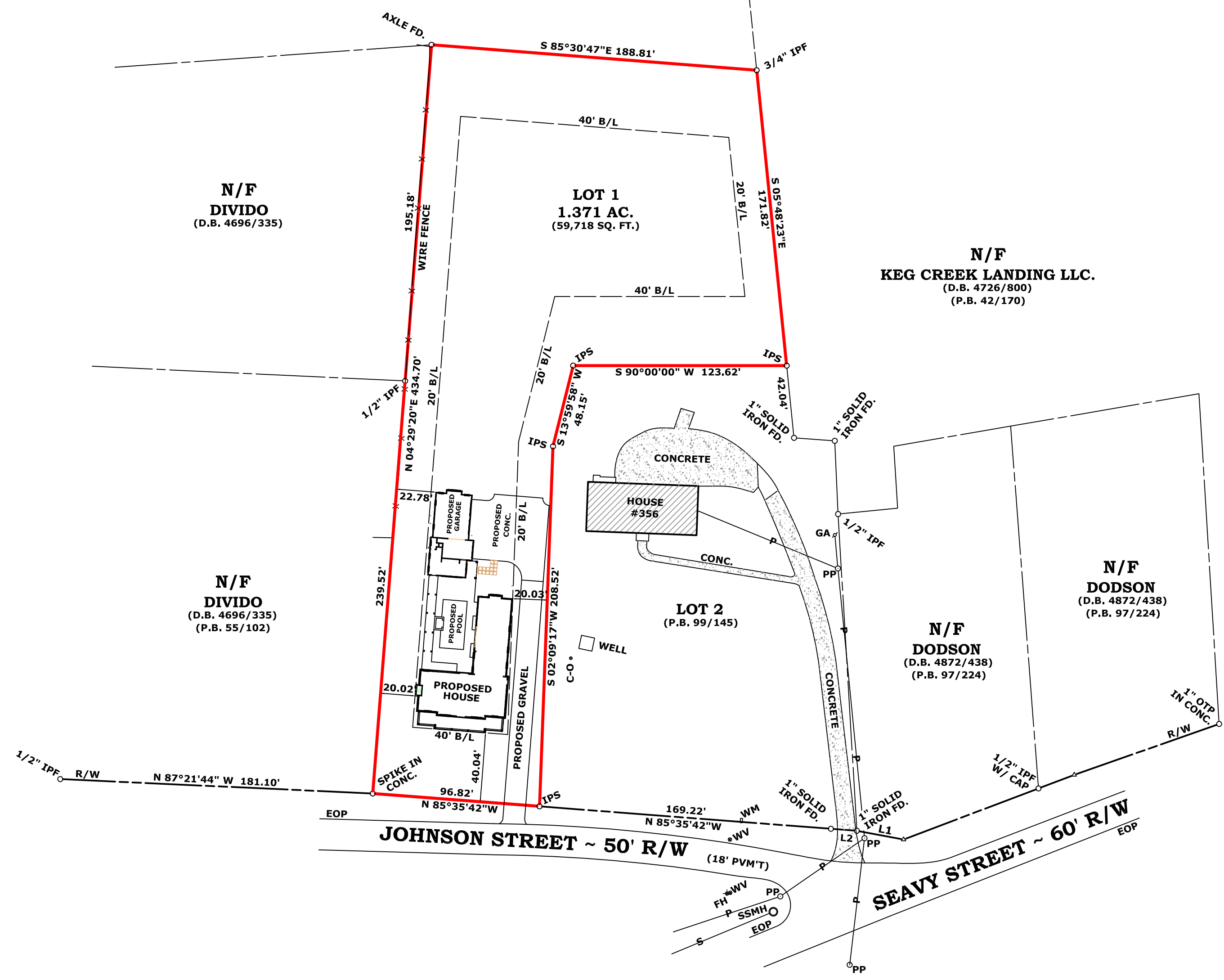
- LEGEND:**
- IPF = IRON PIN FOUND
 - IPS = 1/2" IRON PIN SET
 - OTP = OPEN TOP PIPE
 - B/L = BUILDING LINE
 - R/W = RIGHT-OF-WAY
 - N/F = NOW OR FORMERLY
 - D.B. = DEED BOOK
 - P.B. = PLAT BOOK
 - FH = FIRE HYDRANT
 - WV = WATER VALVE
 - WM = WATER METER
 - C-O = CLEAN-OUT
 - EOP = EDGE OF PAVEMENT
 - L.L. = LAND LOT
 - AC. = ACRES
 - SQ. FT. = SQUARE FEET
 - CMP = CORRUGATED METAL PIPE
 - PP = POWER POLE
 - GA = GUY ANCHOR
 - X = WIRE FENCE
 - P = OVERHEAD POWER LINE
 - SSMH = SANITARY SEWER MANHOLE
 - S = SANITARY SEWER LINE
 - PVM'T = PAVEMENT

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 28,658 FEET OR BETTER AN ANGULAR ERROR OF .03" PER ANGLE POINT, AND HAS BEEN ADJUSTED USING THE LEAST SQUARES RULE.

THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND HAS BEEN FOUND TO BE ACCURATE TO WITHIN ONE FOOT IN 207,632 FEET OR BETTER.

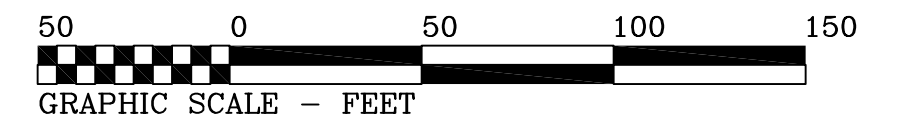
ANGULAR AND LINEAR MEASUREMENTS WERE OBTAINED BY USING A GEOMAX ZOOM 35 PRO TOTAL STATION.

BASIS OF ELEVATIONS AND NORTH ORIENTATION OBTAINED BY USING A TOPCON HIPER SR GPS NETWORK ROVER UTILIZING THE EGPS SOLUTIONS, INC. REFERENCE NETWORK.



CALL TABLE

Course	Bearing	Distance
L1	N 79°28'32" W	27.51'
L2	N 85°34'58" W	15.04'



"NOT TO BE RECORDED"



TURNER & ASSOCIATES LAND SURVEYORS, P.C.
10 SHACK HUNTER RD. SHARPSBURG, GEORGIA 30277
TELE: (770) 683-5300 EMAIL: turnerlandsurveyors@gmail.com
JASON D. TURNER GEORGIA REGISTERED LAND SURVEYOR NO. 2795

SITE PLAN FOR:

BRENT CURRIE

LOT 1 OF "356 JOHNSON STREET - FINAL PLAT" (P.B. 99/145)
LOCATED IN LAND LOT 290 1st LAND DISTRICT
COWETA COUNTY, GEORGIA CITY OF SENOIA

SCALE: 1" = 50'	PLAT DATE: 04-29-2021	REVISED: 02-16-2023
DATES OF FIELD WORK: 05-16-2020; 05-18-2020		DISK #: 2021
		DRAWING #: 2020027-LOT1-R

AS PER F.I.R.M. FLOOD MAPS FOR COWETA COUNTY, GEORGIA; MAP NUMBER 13077C0291D, EFFECTIVE DATE FEB. 06, 2013
THIS PROPERTY IS NOT LOCATED IN A FEDERALLY DESIGNATED FLOOD HAZARD AREA.

DESIGN CRITERIA

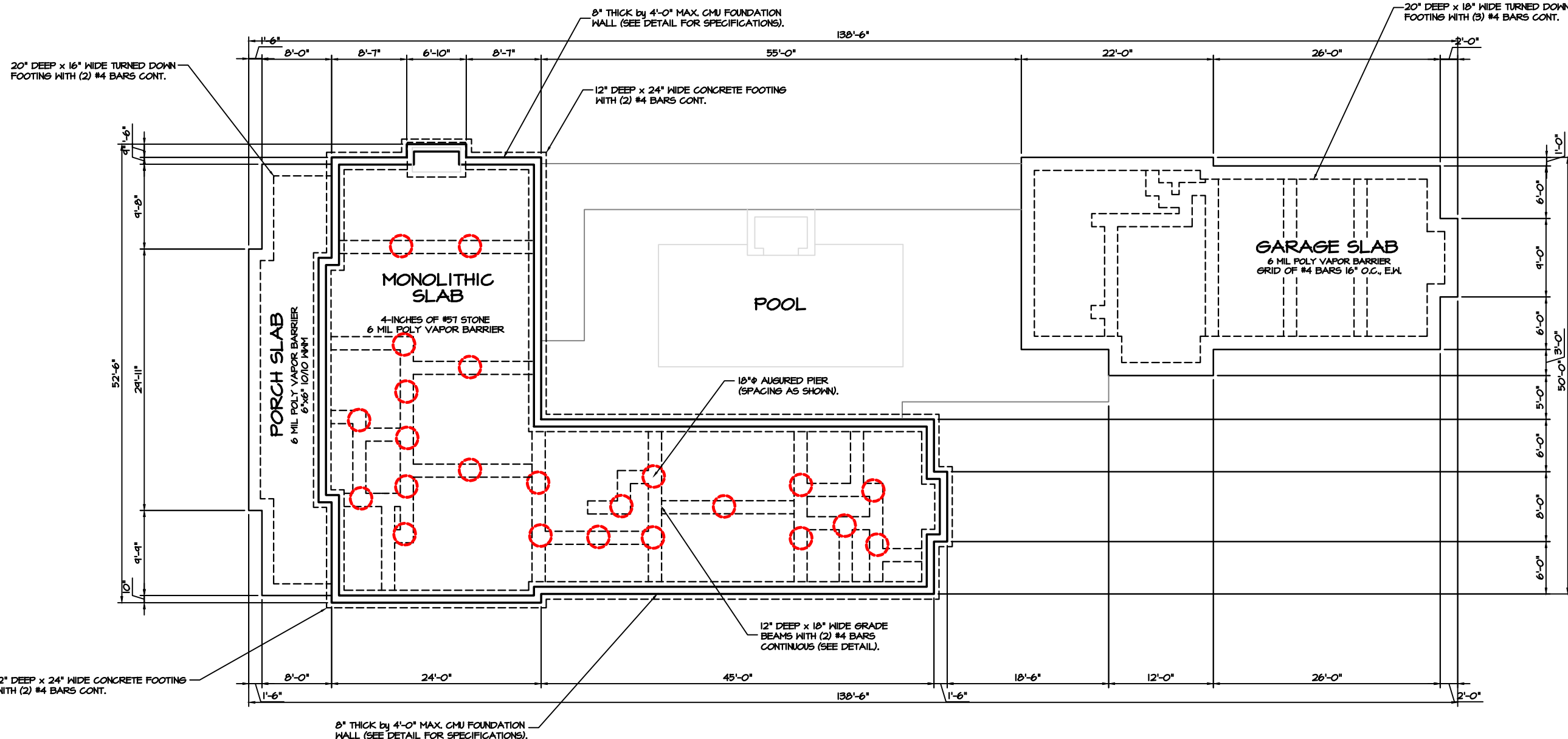
1. MINIMUM ALLOWABLE SOIL BEARING PRESSURE: 2,500 PSF
2. BACKFILL MATERIAL: AS SHOWN
3. SURCHARGE LOADING: NONE
4. LIVE LOAD: 40 PSF
5. DEAD LOAD: 10 PSF
6. STEEL REINFORCEMENT: GRADE 60
ASTM REFERENCE: ASTM 615
7. 28-DAY COMPRESSIVE STRENGTH (f_c) OF CONCRETE: 3,000 PSI

APPLICABLE CODES

GEORGIA STATE MINIMUM CODES:
INTERNATIONAL RES. BUILDING CODE, 2018
and 2020 GEORGIA STATE AMENDMENTS.



CLIENT: CURRIE CONSTRUCTION SERVICES
ADDRESS: 994 JOHNSTON STREET
SENOIA, GA
SCALE: NOT TO SCALE
DATE: 07 FEB 2023
AJP



○ DENOTES AUGURED 10" PIER HOLE

STRUCTURAL FOUNDATION PLAN

SCALE: 1" = 1'-0"

DRAWING TITLE:
STRUCTURAL FOUNDATION DETAILS

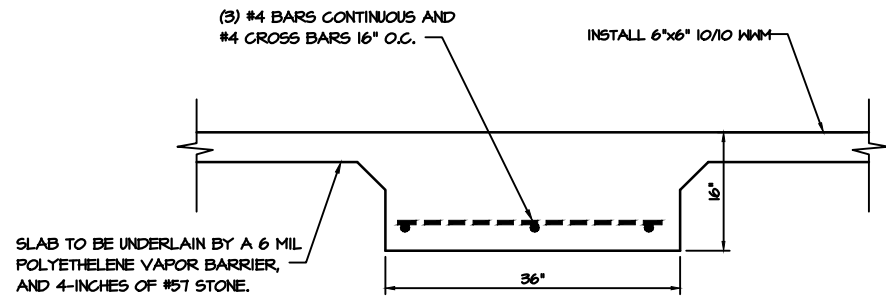
PALMER CONSTRUCTION CONSULTANTS, INC.
204 ARNOLD MILL ROAD
WOODSTOCK, GA 30188
T10-886-5033 office
T10-886-8084 fax
PER #: 4508

DESIGN CRITERIA

1. MINIMUM ALLOWABLE SOIL BEARING PRESSURE: 2,500 PSF
2. BACKFILL MATERIAL: AS SHOWN
3. SURCHARGE LOADING: NONE
4. LIVE LOAD: 40 PSF
5. DEAD LOAD: 10 PSF
6. STEEL REINFORCEMENT: GRADE 60
ASTM REFERENCE: ASTM 615
7. 28-DAY COMPRESSIVE STRENGTH (f_c) OF CONCRETE: 3,000 PSI

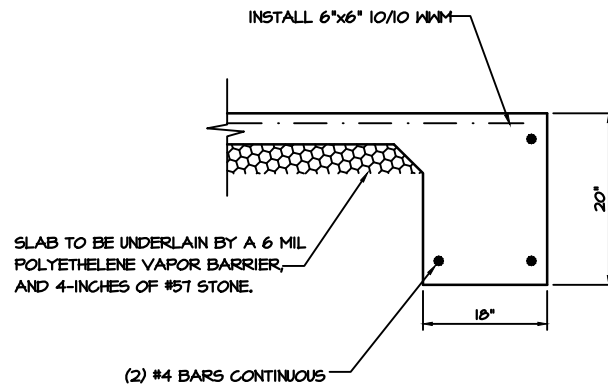
APPLICABLE CODES

GEORGIA STATE MINIMUM CODES,
INTERNATIONAL RES. BUILDING CODE, 2018
AND 2020 GEORGIA STATE AMENDMENTS.



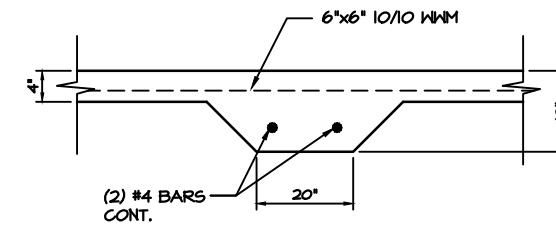
FIREPLACE FOOTING DETAIL
(7' x 3' x 16" DEEP)

SCALE: 1" = 1'-0"



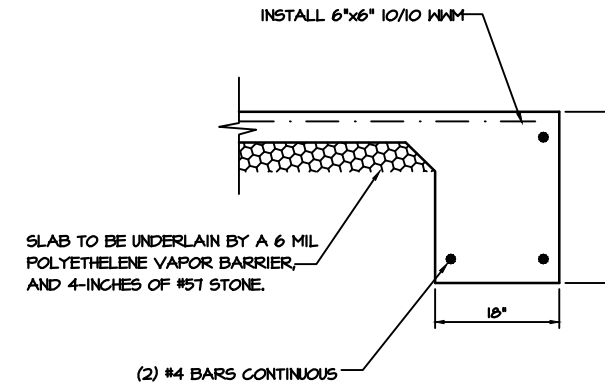
TURN-DOWN SLAB
(AT GARAGE SLAB)

SCALE: 1" = 1'-0"



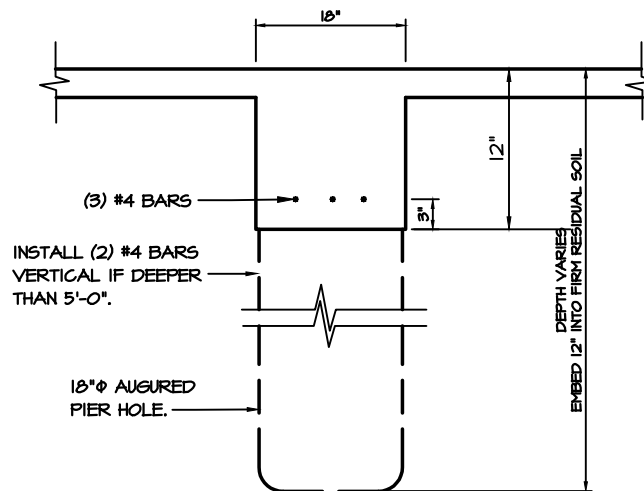
GRADE BEAM DETAIL
(UNDER LOAD BEARING WALLS)

SCALE: 1" = 1'-0"



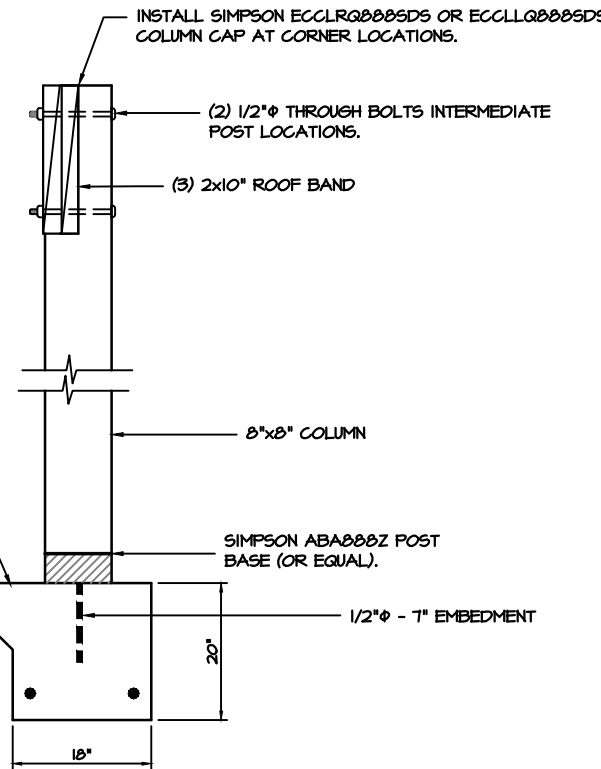
TURN-DOWN SLAB
(AT PORCH SLAB)

SCALE: 1" = 1'-0"



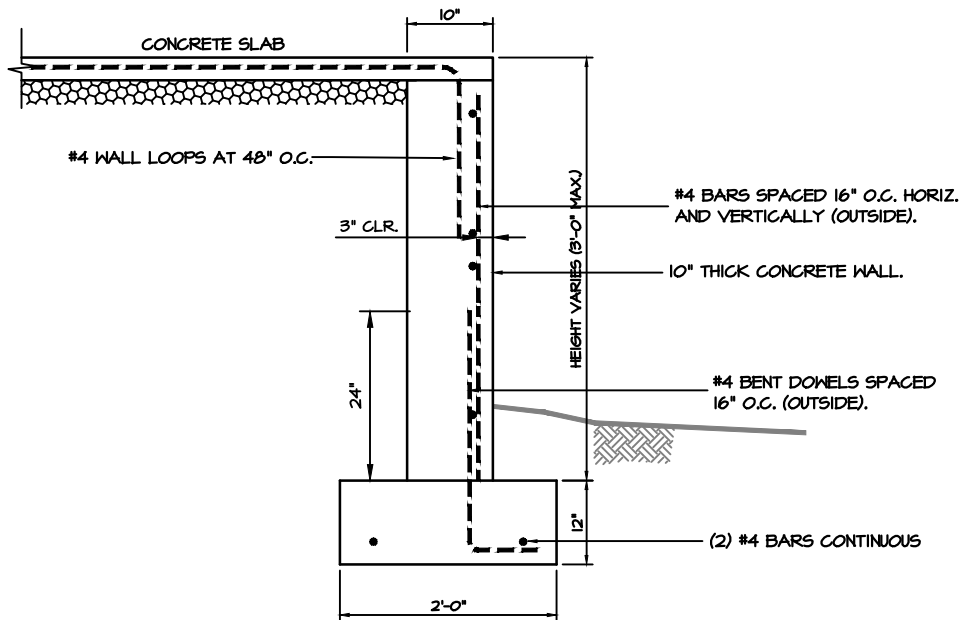
AUGURED PIER
(GRADE BEAM)

SCALE: NOT TO SCALE



POST DETAIL AT PORCHES

SCALE: NOT TO SCALE



4'-0" CONCRETE SUB-WALL

SCALE: NOT TO SCALE



CLIENT: CURRIE CONSTRUCTION SERVICES
ADDRESS: 354 JOHNSTON STREET
SENOIA, GA
SCALE: 3/32" = 1'-0"
DATE: 07 FEB 2023
AJP

DRAWING TITLE:
**FOUNDATION PLAN
AND DETAILS**

DESIGN CRITERIA

1. MINIMUM ALLOWABLE SOIL BEARING PRESSURE: 2,500 PSF
2. BACKFILL MATERIAL: AS SHOWN
3. SURCHARGE LOADING: NONE
4. LIVE LOAD (FLOOR/ROOF): 40/20 PSF
5. DEAD LOAD (FLOOR/ROOF): 10/10 PSF
6. STEEL REINFORCEMENT: GRADE 60
ASTM REFERENCE: ASTM 615
7. 28-DAY COMPRESSIVE STRENGTH (f_c) OF CONCRETE: 3,000 PSI

WIND DATA

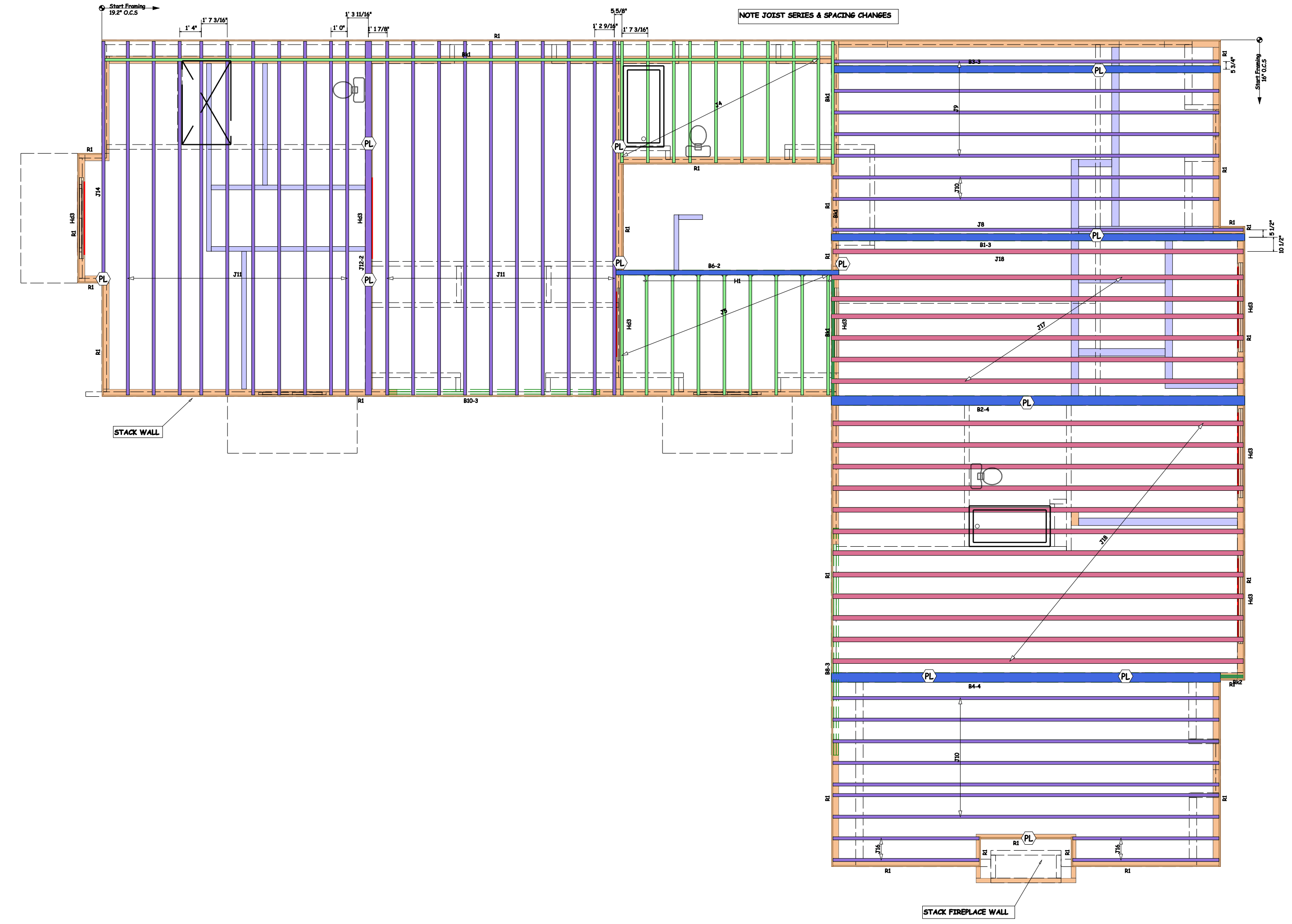
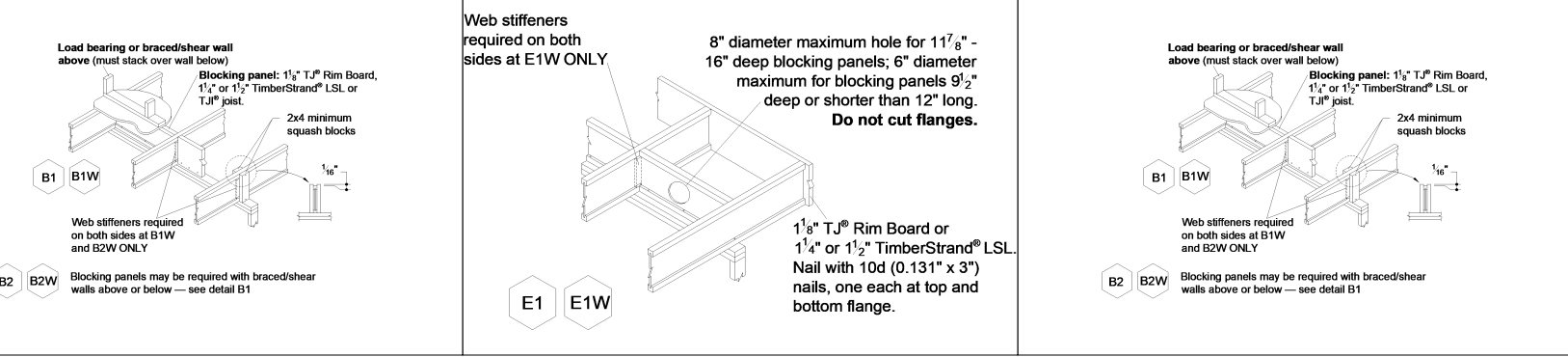
ULT. DESIGN WIND SPEED (3 SEC GUST): 115 MPH
NOM. DESIGN WIND SPEED (3 SEC GUST): 90 MPH
RISK CATEGORY: CATEGORY II
WIND EXPOSURE CATEGORY: EXPOSURE B

APPLICABLE CODES

GEORGIA STATE MINIMUM CODES,
INTERNATIONAL RESIDENTIAL CODE, 2018
AND 2020 GEORGIA STATE AMENDMENTS.

PALMER CONSTRUCTION CONSULTANTS, INC.
209 ARNOLD MILL ROAD
WOODSTOCK, GA 30188
T70-886-5033 office
T70-886-8084 fax

Second Floor

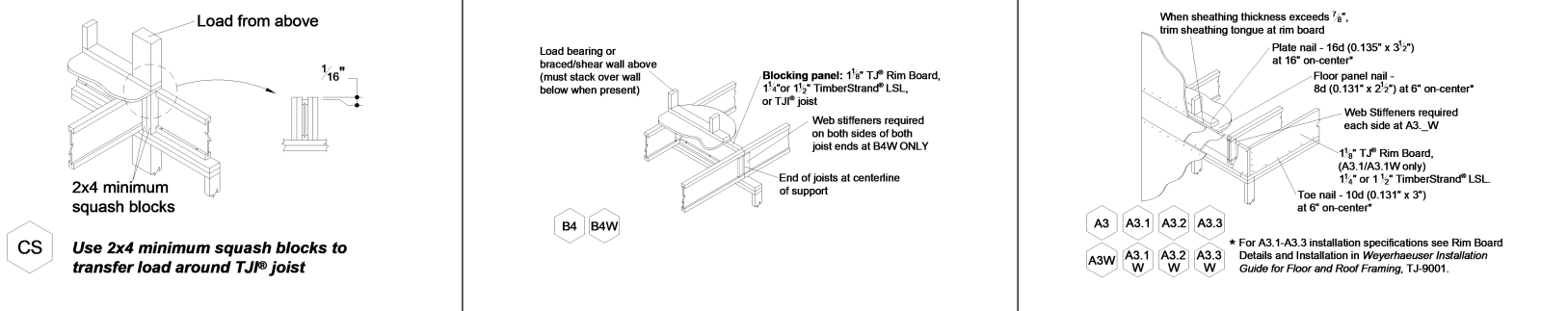
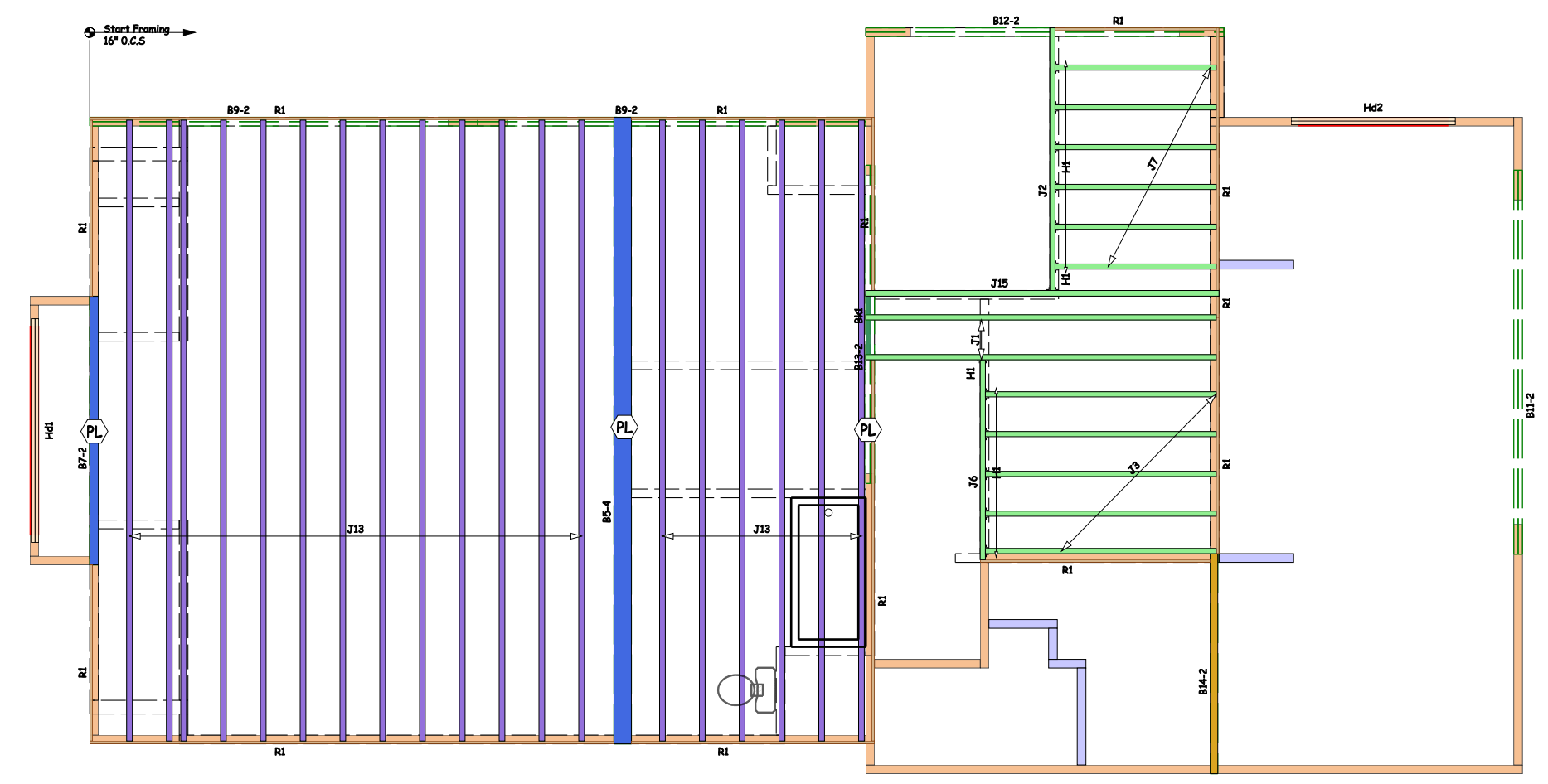


PartID	Length	Product	Piles	Net Qty
J1	12' 0"	16" TJI 210 joist	1	2
J2	10' 0"	16" TJI 210 joist	1	1
J3	8' 0"	16" TJI 210 joist	1	5
J4	8' 0"	16" TJI 210 joist	1	9
J5	8' 0"	16" TJI 210 joist	1	9
J6	8' 0"	16" TJI 210 joist	1	1
J7	6' 0"	16" TJI 210 joist	1	6
B41	2' 0"	16" TJI 210 joist	1	26
J8	26' 0"	16" TJI 360 joist	1	1
J10	24' 0"	16" TJI 360 joist	1	9
J9	24' 0"	16" TJI 360 joist	1	5
J12-2	22' 0"	16" TJI 360 joist	2	2
J11	22' 0"	16" TJI 360 joist	1	20
J13	22' 0"	16" TJI 360 joist	1	19
J14	16' 0"	16" TJI 360 joist	1	1
J15	12' 0"	16" TJI 360 joist	1	1
J16	10' 0"	16" TJI 360 joist	1	4
B42	2' 0"	16" TJI 360 joist	1	1
J17	26' 0"	16" TJI 360 joist	1	6
J18	26' 0"	16" TJI 360 joist	1	13
B2-4	26' 0"	1 3/4" x 16" 2.0E Microlam LVL	4	4
B1-3	26' 0"	1 3/4" x 16" 2.0E Microlam LVL	3	3
B4-4	24' 0"	1 3/4" x 16" 2.0E Microlam LVL	4	4
B3-3	24' 0"	1 3/4" x 16" 2.0E Microlam LVL	3	3
B5-4	22' 0"	1 3/4" x 16" 2.0E Microlam LVL	4	4
B6-2	14' 0"	1 3/4" x 16" 2.0E Microlam LVL	2	2
B7-2	10' 0"	1 3/4" x 16" 2.0E Microlam LVL	2	2
B10-3	14' 0"	1 3/4" x 11 7/8" 2.0E Microlam LVL	3	3
B8-3	14' 0"	1 3/4" x 11 7/8" 2.0E Microlam LVL	3	3
B11-2	14' 0"	1 3/4" x 11 7/8" 2.0E Microlam LVL	2	2
B9-2	14' 0"	1 3/4" x 11 7/8" 2.0E Microlam LVL	2	4
B12-2	12' 0"	1 3/4" x 11 7/8" 2.0E Microlam LVL	2	2
B13-2	12' 0"	1 3/4" x 9 1/4" 2.0E Microlam LVL	2	2
R1	16' 0"	1 1/8" x 16" TJI Rim Board	1	24
B14-2	8' 0"	2 x 10 SPF No.1/No.2	2	2
TRUSSLOK 6 3/4"		SCREWS		3 f

f User added item

PartID	Qty	Manuf	Product	Skew	Slope
H11	21	USP	2x10SPF	-	-

PartID	Length	Product	Piles	Net Qty
Hd1	8' 0"	2 x 10 SPF No.1/No.2	2	2
Hd2	6' 0"	2 x 10 SPF No.1/No.2	3	12
Hd3	6' 0"	2 x 10 SPF No.1/No.2	2	2
Hd3	9' 0"	2 x 10 SPF No.1/No.2	3	9



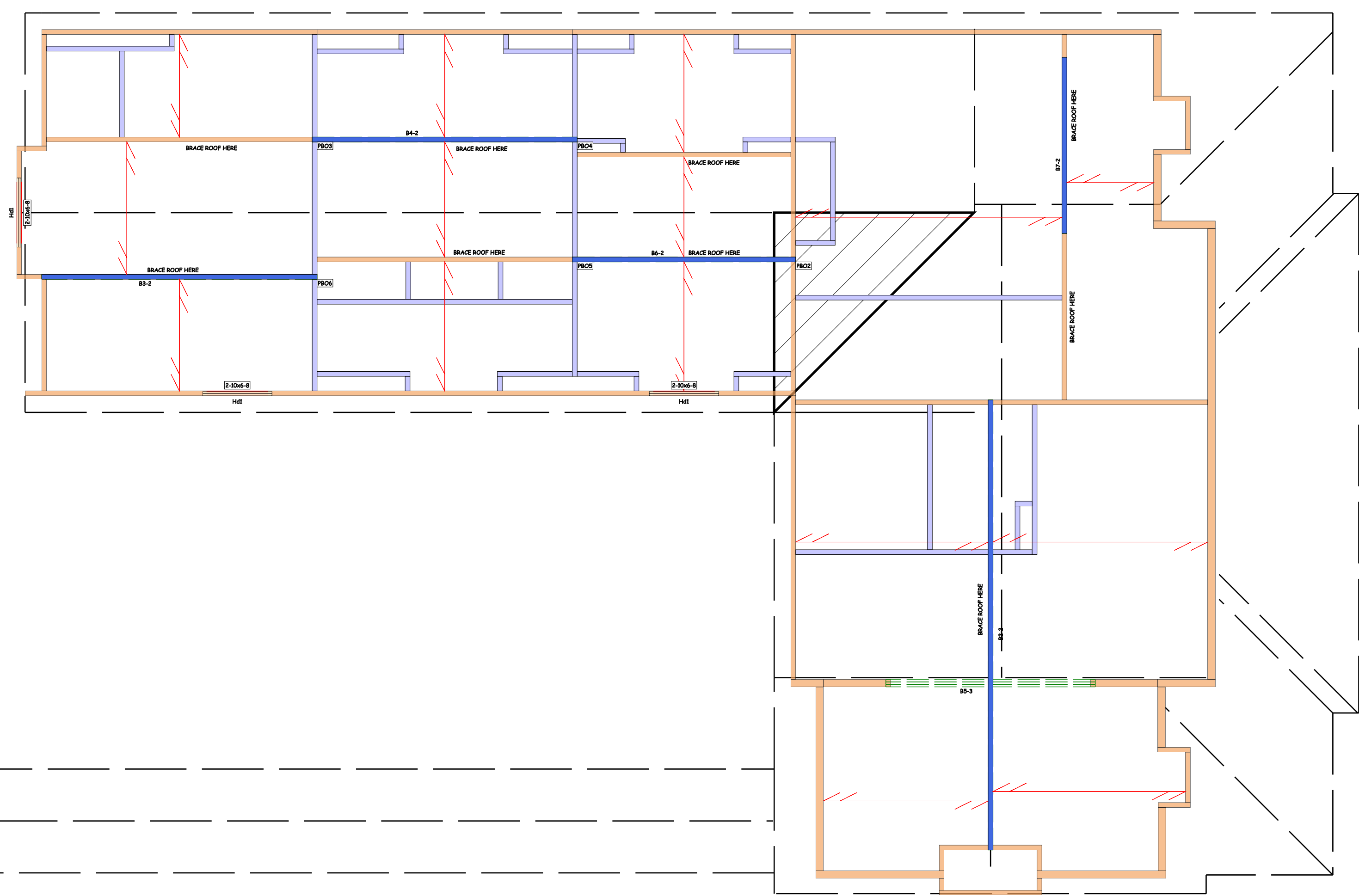
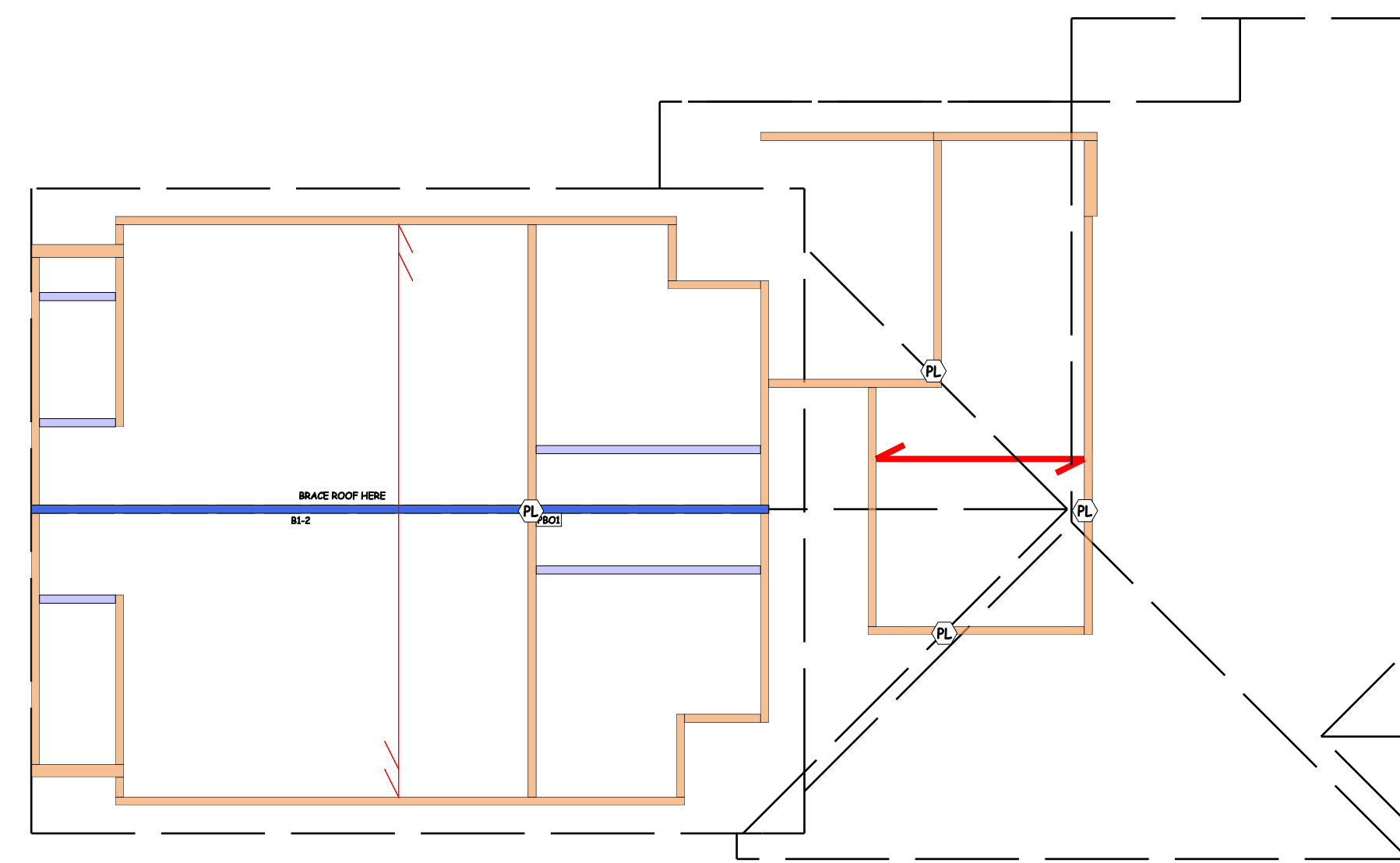
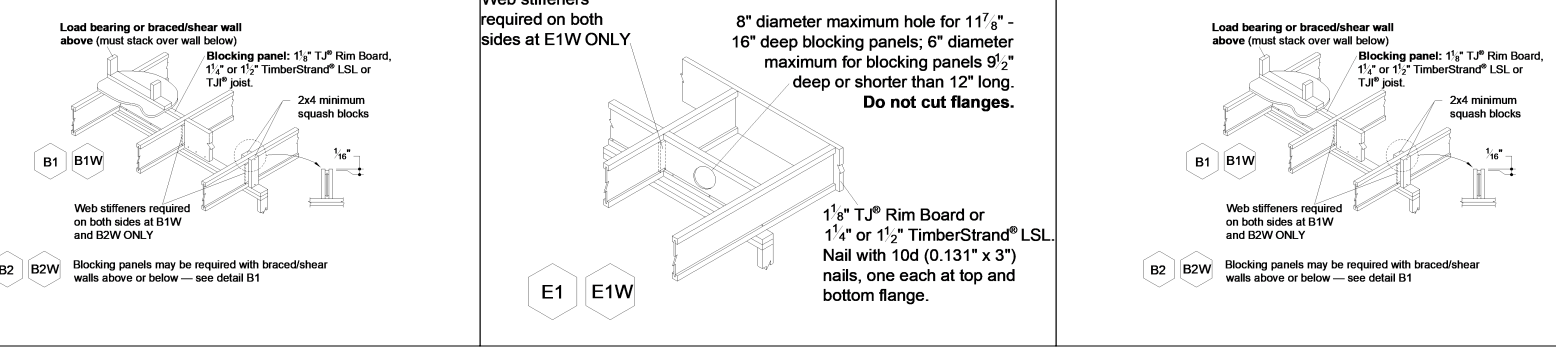
Drawn By:
Checked By:
Release Date:
Revision Date:

These placement plans have been developed for the specification of products based on project information provided. This service is solely intended for product application assurance and is not intended to circumvent the need for a design professional as determined by the building code. The designer of record and/or builder/framer is responsible to assure these drawings are compatible with the overall project.

Prepared By:

Customer: Currie Construction
Job Site Address: 354 Johnson Rd
City, State: Job #:
Job #: 235411
Scale:

Ceiling & Roof



Products				
PierID	Length	Product	Pieces	Net Qty
B1-2	28' 0"	1 3/4" x 14" 2.0E Microllam LVL	2	2
B2-2	28' 0"	1 3/4" x 11 7/8" 2.0E Microllam LVL	2	2
B3-2	18' 0"	1 3/4" x 11 7/8" 2.0E Microllam LVL	2	2
B4-2	16' 0"	1 3/4" x 11 7/8" 2.0E Microllam LVL	2	2
B5-3	14' 0"	1 3/4" x 11 7/8" 2.0E Microllam LVL	3	3
B6-2	14' 0"	1 3/4" x 9 1/4" 2.0E Microllam LVL	2	2
B7-2	12' 0"	1 3/4" x 9 1/4" 2.0E Microllam LVL	2	2

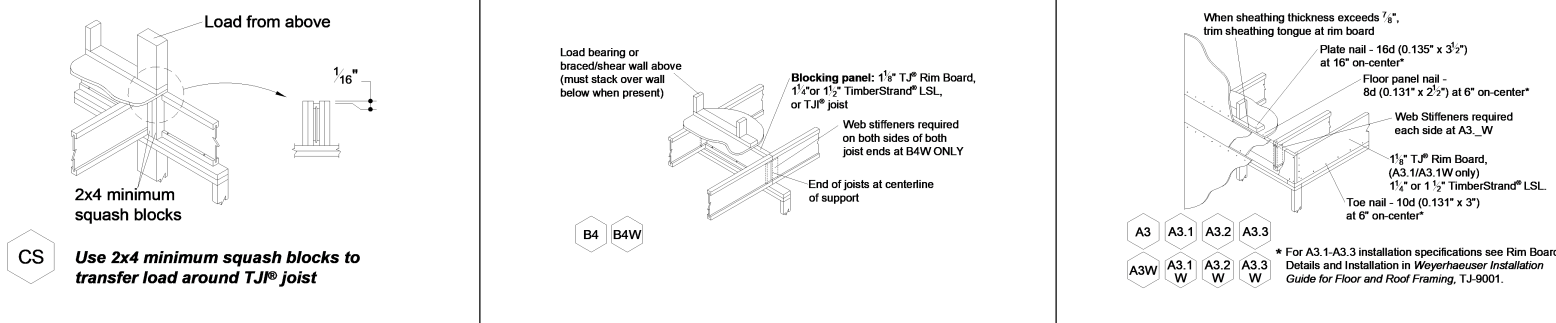
Wall Framing				
PierID	Length	Product	Pieces	Net Qty
H1	5' 0"	2 x 10 SPF No.1/No.2	2	6

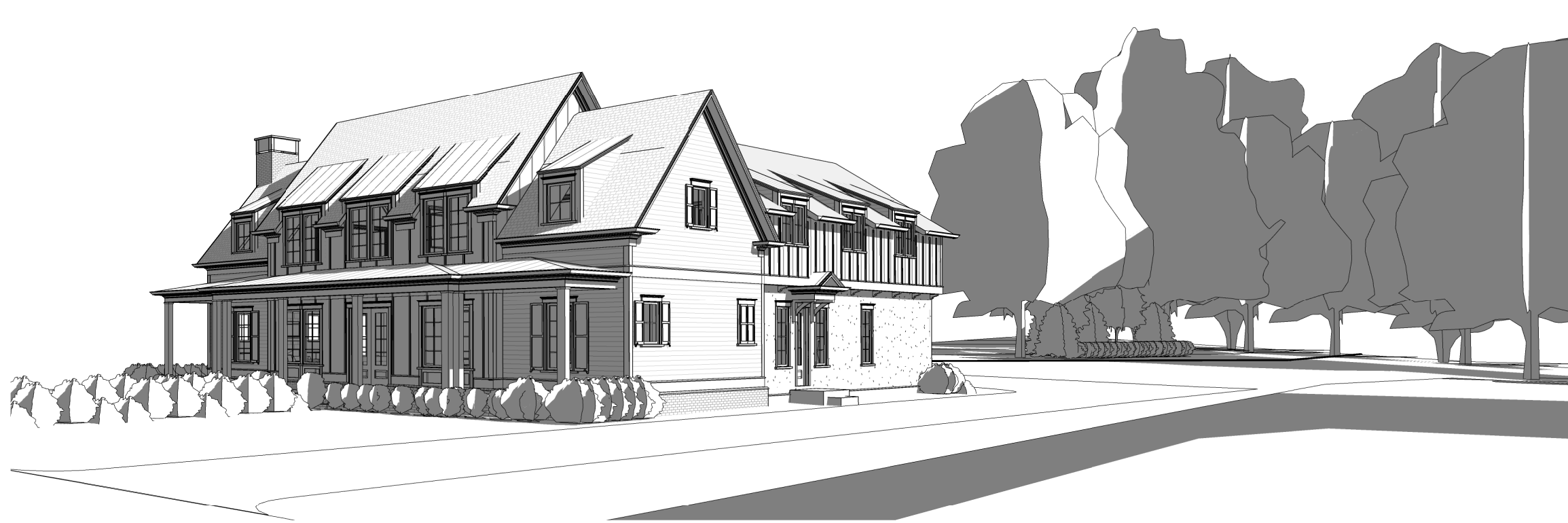
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Drawn By:
Checked By:
Release Date:
Revision Date:

Prepared By:

Customer: Currie Construction
Job Site Address: 354 Johnson Rd
City, State: Job #:
Job #: 235411
Scale:





③ Front - Right



① Garage - Left 1

REVISIONS

BRENT & CHRISTY CURRIE
 354 JOHNSON ST
 SENOIA, GA 30276
 LOT: N/A
 5/7/2023 12:44:12 PM
 DRAWN BY: CBC
 CHECKED BY:

Scale:



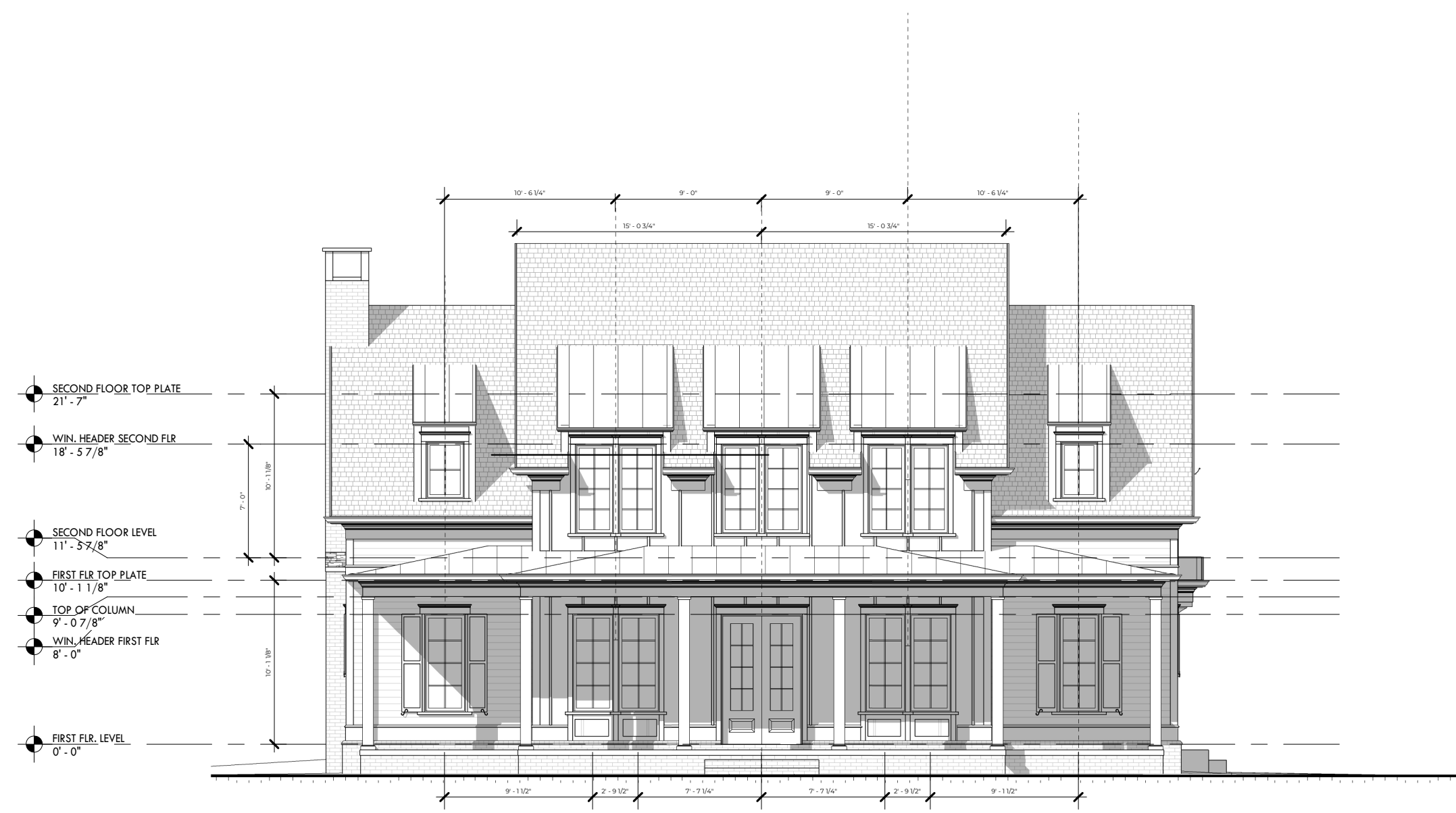
885 Woodstock Rd - Ste 430-395
 Roswell, GA 30075 - 770.560.9589

CURRIE RESIDENCE
 3D VIEWS

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A0.01

NOTE: CEILING HEIGHTS
 FIRST FLOOR (TYP): 10'0"
 SECOND FLOOR (TYP): 10'0"
 UNLESS NOTED OTHERWISE



① FRONT ELEVATION
 1/8" = 1'-0"

REVISIONS

BRENT & CHRISTY CURRIE
354 JOHNSON ST
SENOIA, GA 30276
LOT: N/A
5/7/2023 12:44:19 PM
DRAWN BY: CBC
CHECKED BY:

Scale: 1/8" = 1'-0"



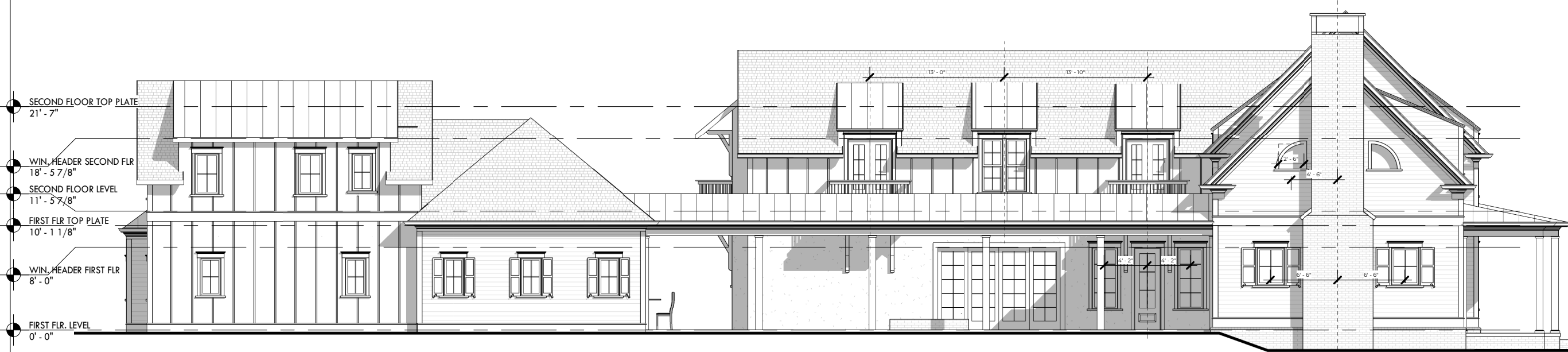
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 Roswell, GA 30075 - 770.560.9589

CURRIE RESIDENCE
 FRONT ELEVATION

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A1.01

NOTE: CEILING HEIGHTS
 FIRST FLOOR (TYP): 10'0"
 SECOND FLOOR (TYP): 10'0"
 UNLESS NOTED OTHERWISE



SECOND FLOOR TOP PLATE
21' - 7"

WIN. HEADER SECOND FLR
18' - 5 7/8"

SECOND FLOOR LEVEL
11' - 5 7/8"

FIRST FLR TOP PLATE
10' - 1 1/8"

WIN. HEADER FIRST FLR
8' - 0"

FIRST FLR. LEVEL
0' - 0"

① LEFT ELEVATION
 3/32" = 1'-0"

REVISIONS

BRENT & CHRISTY CURRIE
 354 JOHNSON ST
 SENOIA, GA 30276
 LOT: N/A
 5/7/2023 12:44:32 PM
 DRAWN BY: CBC
 CHECKED BY:

Scale 3/32" = 1'-0"



885 Woodstock Rd - Ste 430-395
 Roswell, GA 30075 - 770.560.9589

CURRIE RESIDENCE
 LEFT ELEVATION

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A1.02

NOTE: CEILING HEIGHTS
 FIRST FLOOR (TYP): 10'0"
 SECOND FLOOR (TYP): 10'0"
 UNLESS NOTED OTHERWISE



① REAR ELEVATION
 1/8" = 1'-0"

REVISIONS

BRENT & CHRISTY CURRIE
354 JOHNSON ST
SENOIA, GA 30276
LOT: N/A
5/7/2023 12:44:41 PM
DRAWN BY: CBC
CHECKED BY:

Scale: 1/8" = 1'-0"



885 Woodstock Rd - Ste 430-395
 Roswell, GA 30075 - 770.560.9589

CURRIE RESIDENCE
 REAR ELEVATION

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A1.03

NOTE: CEILING HEIGHTS
 FIRST FLOOR (TYP): 10'0"
 SECOND FLOOR (TYP): 10'0"
 UNLESS NOTED OTHERWISE



SECOND FLOOR TOP PLATE
21' - 7"

WIN. HEADER SECOND FLR
18' - 5 7/8"

SECOND FLOOR LEVEL
11' - 5 7/8"

FIRST FLR TOP PLATE
10' - 1 1/8"

WIN. HEADER FIRST FLR
8' - 0"

FIRST FLR. LEVEL
0' - 0"

1 FALSE WINDOW PANEL W/SHUTTERS

1/2" RAISED SLAB W/ BRICK LEDGE

① RIGHT ELEVATION
 3/32" = 1'-0"

REVISIONS

BRENT & CHRISTY CURRIE
 354 JOHNSON ST
 SENOIA, GA 30276
 LOT: N/A
 5/7/2023 12:44:58 PM
 DRAWN BY: CBC
 CHECKED BY:

Scale 3/32" = 1'-0"



885 Woodstock Rd - Ste 430-395
 Roswell, GA 30075 - 770.560.9589

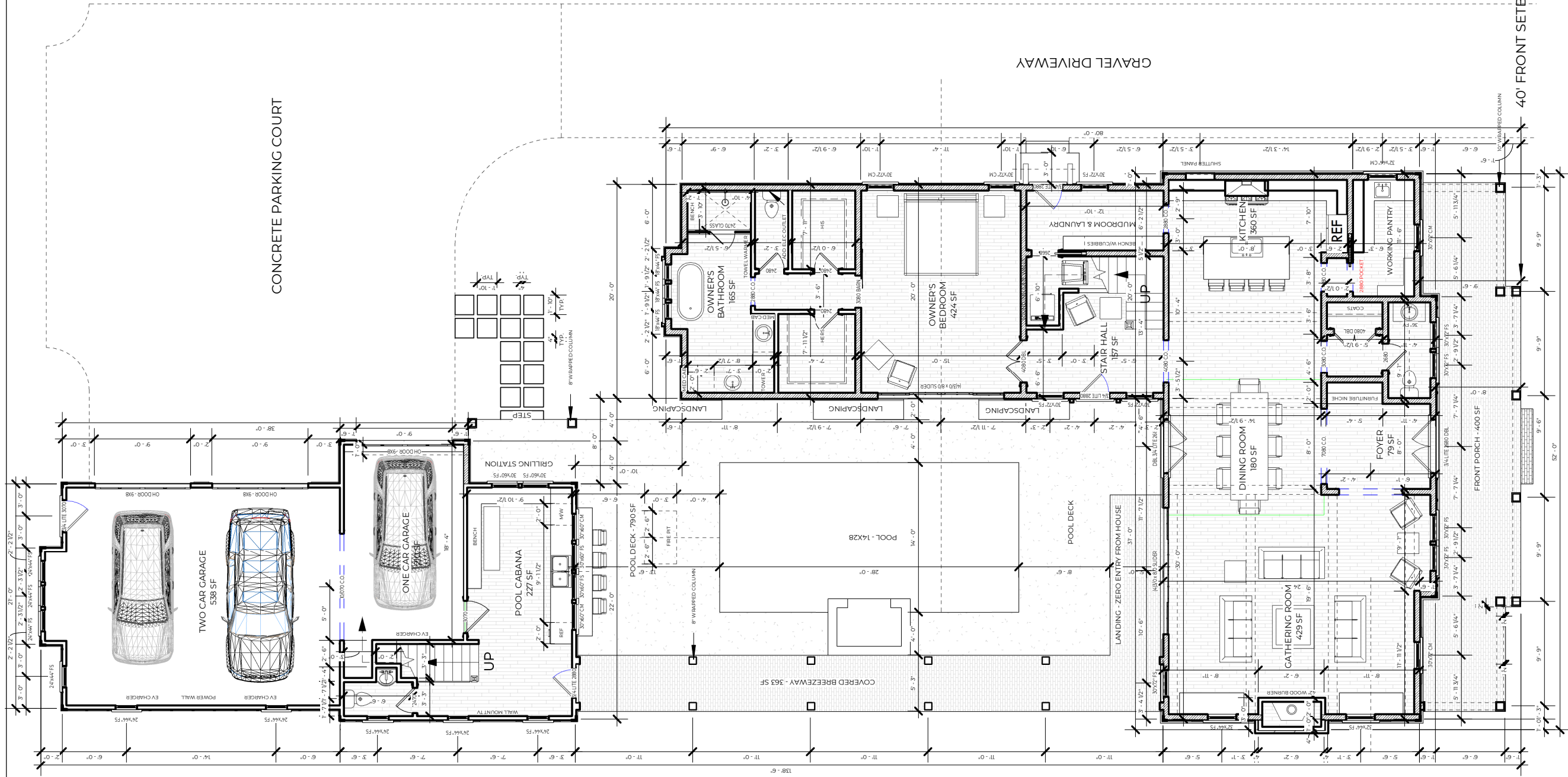
CURRIE RESIDENCE
 RIGHT ELEVATION

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A1.04

SQUARE FOOTAGE CHART

Level	Area	Comments
HEATED		
FIRST FLR. LEVEL	2128 SF	HEATED
SECOND FLOOR LEVEL	1384 SF	HEATED
	3511 SF	
OPTIONAL HEATED		
SECOND FLOOR LEVEL	456 SF	OPTIONAL HEATED
	456 SF	
UNHEATED		
FIRST FLR. LEVEL	747 SF	UNHEATED
SECOND FLOOR LEVEL	657 SF	UNHEATED
	1405 SF	
	5372 SF	



① FIRST FLOOR PLAN
3/32" = 1'-0"

REVISIONS

BRENT & CHRISTY CURRIE
354 JOHNSON ST
SENOIA, GA 30276
LOT: N/A
5/7/2023 12:45:00 PM
DRAWN BY: CBC
CHECKED BY:

Scale 3/32" = 1'-0"



885 Woodstock Rd - Ste 430-395
Roswell, GA 30075 - 770.560.9589

**CURRIE RESIDENCE
FIRST FLOOR PLAN**

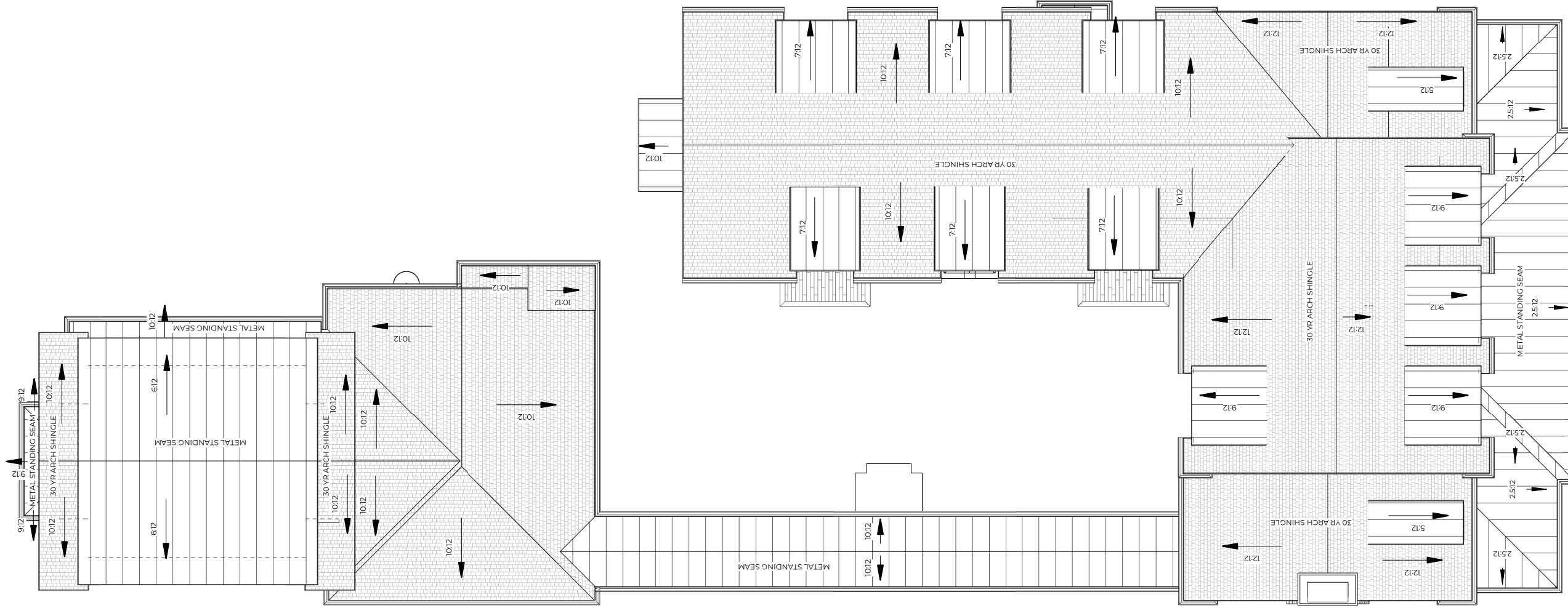
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ROOF SCHEDULE

Comments	Area
Asphalt Shingle	4167 SF
Metal Standing Seam	2422 SF

NOTE: CEILING HEIGHTS
 FIRST FLOOR (TYP): 10'0"
 SECOND FLOOR (TYP): 10'0"
 UNLESS NOTED OTHERWISE

① ROOF PLAN
 3/32" = 1'-0"



REVISIONS	

Scale 3/32" = 1'-0"

BRENT & CHRISTY CURRIE
 354 JOHNSON ST
 SENOIA, GA 30276
 LOT: N/A
 5/7/2023 12:45:04 PM
 DRAWN BY: CBC
 CHECKED BY:



885 Woodstock Rd - Ste 430-395
 Roswell, GA 30075 - 770.560.9589

CURRIE RESIDENCE
ROOF PLAN

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A2.04

DOOR SCHEDULE

Type	Width	Height	Count	Headers
3/4 LITE 2270 DBL			3	0' - 0"
3/4 LITE 2680 DBL			1	0' - 0"
DBL 3/4 LITE 2680			1	0' - 0"
FULL LITE 2070 DBL			1	0' - 0"
3/4 LITE 2868	0' - 0"	0' - 0"	1	6' - 0"
3/4 LITE 2880	0' - 0"	0' - 0"	3	18' - 0"
3/4 LITE 3070	0' - 0"	0' - 0"	1	6' - 0"
2468	2' - 4"	6' - 8"	3	32' - 0"
2668	2' - 6"	6' - 8"	8	88' - 0"
2868	2' - 8"	6' - 8"	3	34' - 0"
2868 C.O.	2' - 8"	6' - 8"	2	22' - 8"
3068	3' - 0"	6' - 8"	1	12' - 0"
4068 DBL	4' - 0"	6' - 8"	1	14' - 0"
10/068 C.O.	10' - 0"	6' - 8"	1	26' - 0"
12/068 C.O.	12' - 0"	6' - 8"	1	30' - 0"
2470	2' - 4"	7' - 0"	5	53' - 4"
2470 GLASS	2' - 4"	7' - 0"	2	21' - 4"
3070	3' - 0"	7' - 0"	1	12' - 0"
4070 C.O.	4' - 0"	7' - 0"	1	14' - 0"
10/070 C.O.	10' - 0"	7' - 0"	1	26' - 0"
2480	2' - 4"	8' - 0"	3	32' - 0"
2680	2' - 6"	8' - 0"	1	11' - 0"
2880 C.O.	2' - 8"	8' - 0"	4	45' - 4"
3080 BARN	3' - 0"	8' - 0"	2	24' - 0"
3080 C.O.	3' - 0"	8' - 0"	1	12' - 0"
4080 C.O.	4' - 0"	8' - 0"	1	14' - 0"
4080 DBL	4' - 0"	8' - 0"	2	28' - 0"
6080 C.O.	6' - 0"	8' - 0"	1	18' - 0"
7080 C.O.	7' - 0"	8' - 0"	1	20' - 0"
OH DOOR - 9X8	9' - 0"	8' - 0"	3	72' - 0"
(4)3/0 x 8/0 SLIDER	11' - 10"	8' - 0"	2	59' - 4"

62 62 751' - 0"

ROOF SCHEDULE

Comments	Area
Asphalt Shingle	4167 SF
Metal Standing Seam	2422 SF

FLOORING SCHEDULE

Floor Finish	Level	Name	Area
	SECOND FLOOR LEVEL	ATTIC STORAGE	602 SF
	SECOND FLOOR LEVEL	UTILITY ROOM	55 SF
			657 SF

HARDWOODS

HARDWOODS	FIRST FLR. LEVEL	NAME	AREA
HARDWOODS	FIRST FLR. LEVEL	DINING ROOM	180 SF
HARDWOODS	FIRST FLR. LEVEL	FOYER	79 SF
HARDWOODS	FIRST FLR. LEVEL	GATHERING ROOM	429 SF
HARDWOODS	FIRST FLR. LEVEL	KITCHEN	360 SF
HARDWOODS	FIRST FLR. LEVEL	MUDROOM & LAUNDRY	72 SF
HARDWOODS	FIRST FLR. LEVEL	OWNER'S BEDROOM	424 SF
HARDWOODS	FIRST FLR. LEVEL	POOL CABANA	227 SF
HARDWOODS	FIRST FLR. LEVEL	POWDER ROOM	35 SF
HARDWOODS	FIRST FLR. LEVEL	STAIR HALL	157 SF
HARDWOODS	SECOND FLOOR LEVEL	BEDROOM 2	245 SF
HARDWOODS	SECOND FLOOR LEVEL	BEDROOM 3	272 SF
HARDWOODS	SECOND FLOOR LEVEL	FUTURE FINISHED	456 SF
HARDWOODS	SECOND FLOOR LEVEL	SITTING ROOM	166 SF
HARDWOODS	SECOND FLOOR LEVEL	STUDY	228 SF
HARDWOODS	SECOND FLOOR LEVEL	UPPER STAIR HALL	332 SF
			3661 SF

TILE

TILE	FIRST FLR. LEVEL	NAME	AREA
TILE	FIRST FLR. LEVEL	OWNER'S BATHROOM	165 SF
TILE	SECOND FLOOR LEVEL	BATHROOM 2	76 SF
TILE	SECOND FLOOR LEVEL	BATHROOM 3	66 SF
			306 SF
			4625 SF

WINDOW SCHEDULE

Tempered	Type	Width	Height	Count	Mark
No	12"x24" VENT	1' - 0"	2' - 0"	1	
No	24"x44" FS	2' - 0"	3' - 8"	15	
No	24"x62" SGL	2' - 0"	5' - 2"	2	
No	26" x 26" QTR ROUND	2' - 6"	2' - 6"	2	
No	28"x42" FS	2' - 4"	3' - 6"	2	
No	28"x48" CM-E	2' - 4"	4' - 0"	3	
No	28"x48" FS	2' - 4"	4' - 0"	6	
No	28"x66" CM-E	2' - 4"	5' - 6"	2	
No	28"x66" FS	2' - 4"	5' - 6"	4	
No	28"x66" SGL	2' - 4"	5' - 6"	2	
No	30"x60" CM	2' - 6"	5' - 0"	2	
No	30"x60" FS	2' - 6"	5' - 0"	4	
No	30"x72" CM	2' - 6"	6' - 0"	4	
No	30"x72" FS	2' - 6"	6' - 0"	8	
No	32"x44" CM	2' - 8"	3' - 8"	1	4 TOTAL
No	32"x44" FS	2' - 8"	3' - 8"	4	4 TOTAL
Yes	18"x44" FS	1' - 6"	3' - 8"	3	TEMPERED

65 65

WALL MATERIAL TAKE-OFF

Type	Material: Name	Material: Area
EXT_2x4 W/ BOARD-BATTEN	Board and Batten	1943 SF
EXT_2x6 W/ BOARD-BATTEN	Board and Batten	435 SF
Board and Batten		2378 SF
Walls 107	Cast Iron	74 SF
Cast Iron		74 SF
EXT_6" CONC W/ 3" QUEEN BRICK	CONCRETE_CAST-IN-PLACE_WALL	88 SF
CONCRETE_CAST-IN-PLACE_WALL		88 SF
EXT_2x4 W/ 3" QUEEN BRICK	Default Wall	1342 SF
Default Wall		1342 SF
EXT_2x6 W/STUCCO	Finishes - Ext - Stucco	1175 SF
Finishes - Ext - Stucco		1175 SF
Glass	Glass	44 SF
Glass		44 SF
EXT_2x4 W/5" LAP SIDING	Gyp Bd - Walls	1556 SF
EXT_2x4 W/ BOARD-BATTEN	Gyp Bd - Walls	1864 SF
EXT_2x4 W/DURAPLY	Gyp Bd - Walls	57 SF
EXT_2x6 W/5" LAP SIDING	Gyp Bd - Walls	1176 SF
EXT_2x6 W/ 3" QUEEN BRICK	Gyp Bd - Walls	251 SF
EXT_2x6 W/ BOARD-BATTEN	Gyp Bd - Walls	437 SF
EXT_2x6 W/STUCCO	Gyp Bd - Walls	1166 SF
INT_2x4 W/ GYP_TILE	Gyp Bd - Walls	95 SF
INT_2x4 W/ GYP_TWO SIDES	Gyp Bd - Walls	9235 SF
INT_2x6 W/ GYP_TWO SIDES	Gyp Bd - Walls	2548 SF
Gyp Bd - Walls		18385 SF
EXT_2x4 W/ 3" QUEEN BRICK	QUEEN BRICK 2	336 SF
EXT_2x6 W/ 3" QUEEN BRICK	QUEEN BRICK 2	251 SF
EXT_6" CONC W/ 3" QUEEN BRICK	QUEEN BRICK 2	88 SF
EXT_QUEEN BRICK_4"	QUEEN BRICK 2	89 SF
Walls 5	QUEEN BRICK 2	34 SF
Walls 5	QUEEN BRICK 2	26 SF
QUEEN BRICK 2		823 SF
EXT_2x4 W/5" LAP SIDING	SIDING_5" CLAPBOARD SIDING	1548 SF
EXT_2x6 W/5" LAP SIDING	SIDING_5" CLAPBOARD SIDING	1189 SF
SIDING_5" CLAPBOARD SIDING		2736 SF
EXT_2x4 W/5" LAP SIDING	WOOD SHEATHING_7/16" EXT. WALL SHEATHING	1549 SF
EXT_2x4 W/ BOARD-BATTEN	WOOD SHEATHING_7/16" EXT. WALL SHEATHING	1937 SF
EXT_2x4 W/DURAPLY	WOOD SHEATHING_7/16" EXT. WALL SHEATHING	56 SF
EXT_2x6 W/5" LAP SIDING	WOOD SHEATHING_7/16" EXT. WALL SHEATHING	1188 SF
EXT_2x6 W/ 3" QUEEN BRICK	WOOD SHEATHING_7/16" EXT. WALL SHEATHING	251 SF
EXT_2x6 W/ BOARD-BATTEN	WOOD SHEATHING_7/16" EXT. WALL SHEATHING	435 SF
EXT_2x6 W/STUCCO	WOOD SHEATHING_7/16" EXT. WALL SHEATHING	1174 SF
WOOD SHEATHING_7/16" EXT. WALL SHEATHING		6589 SF
EXT_2x4 W/5" LAP SIDING	WOOD_2X4 STUD LAYER	1557 SF
EXT_2x4 W/ BOARD-BATTEN	WOOD_2X4 STUD LAYER	1939 SF
EXT_2x4 W/DURAPLY	WOOD_2X4 STUD LAYER	57 SF
INT_2x4 W/ GYP_TILE	WOOD_2X4 STUD LAYER	95 SF
INT_2x4 W/ GYP_TWO SIDES	WOOD_2X4 STUD LAYER	4631 SF
WOOD_2X4 STUD LAYER		8279 SF
EXT_2x6 W/5" LAP SIDING	WOOD_2X6 STUD LAYER	1187 SF
EXT_2x6 W/ 3" QUEEN BRICK	WOOD_2X6 STUD LAYER	251 SF
EXT_2x6 W/ BOARD-BATTEN	WOOD_2X6 STUD LAYER	441 SF
EXT_2x6 W/STUCCO	WOOD_2X6 STUD LAYER	1173 SF
INT_2x6 W/ GYP_TWO SIDES	WOOD_2X6 STUD LAYER	1274 SF
WOOD_2X6 STUD LAYER		4326 SF

REVISIONS

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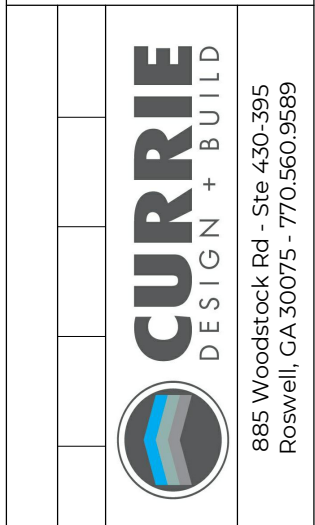
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BRENT & CHRISTY CURRIE
354 JOHNSON ST
SENOIA, GA 30276
LOT: N/A
5/7/2023 12:45:05 PM
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Scale:



CURRIE RESIDENCE SCHEDULES
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A3.00

885 Woodstock Rd - Ste 430-395
Roswell, GA 30075 - 770.560.9589

APPLICATION FOR VARIANCE



**City of Senolia
P.O. Box 310
Senolia, GA 30276
770.599.3679**

Fees: (due upon submission)

Administrative \$150
Residential \$300
Commercial \$500 + \$50 per each add'l request

Project Name: CURRIE RESIDENCE Unit/ Phase: _____
 Zoning District: _____ Acreage: 1.371 Historic District? Yes / No Y
 Owner(s) Name: CLINTON & CHRISTY CURRIE
 Applicant(s) Name: CLINTON B CURRIE
 Property Location:
 Address: 354 JOHNSON ST Land Lot(s), Parcel(s) E02 0026 021
 Mailing Address: 1205 NEW HAVEN COURT ROSWELL, GA 30075
 Phone Number: 770-560-9589 Email: brent.currie1@gmail.com
 Explanation of Variance Request: _____
REQUESTING ZONING VARIANCE FOR BREEZEWAY
FROM HOUSE TO GARAGE OF GREATER THAN 20
FEET
 _____ 6/09/2023 _____
 Signature Date

For office use only

Date:	Received by:	
_____	_____	1. Application - completed and signed
_____	_____	2. List of abutting property owners
_____	_____	3. 1 Copy of Justification
_____	_____	4. 1 Copy of Conceptual Plan

C Brent Currie and Christy R Currie
1205 New Haven Ct
Roswell, GA 30075

770-560-9589

brent.currie1@gmail.com

6/13/2023

Dana Johnson
City of Senoia

Re: Variance Request Justification Letter - 354 Johnson St

Dear Mrs. Johnson,

We would like to respectfully submit the attached house and site plans to the City of Senoia for consideration of a zoning variance for the breezeway as drawn, which connects the detached garage to the main house. Due to the relatively tight lot width, the garage must be placed behind the main body of the house, causing the breezeway footprint to be longer than typical. From a practical standpoint, the breezeway will provide safe access to the house from the garage during inclement weather. From an architectural standpoint, we have taken every effort to design the breezeway to incorporate vernacular architectural elements and hopefully blend in well with neighboring properties within the historic district. Thank you in advance for taking our request into consideration.

Sincerely,

C Brent Currie and Christy R Currie
Owners – 354 Johnson St Senoia, GA 30276

LIST OF ABUTTING PROPERTIES



#1 - 356 JOHNSON ST

**CAPITAL CITY FAYETTE MANAGEMENT LLC
155 TRADITIONS WAY
SENOIA, GA 30276**

2 - 328 JOHNSON ST

**DIVIDO BRETT DANIEL & CINDY DIVIDO
328 JOHNSON ST
SENOIA, GA 30276**

#3 - FARRELL CREEK DR

**ENCLAVE AT KEG CREEK HOA INC
240 N JEFF DAVIS DR.
FAYETTEVILLE, GA 30214**