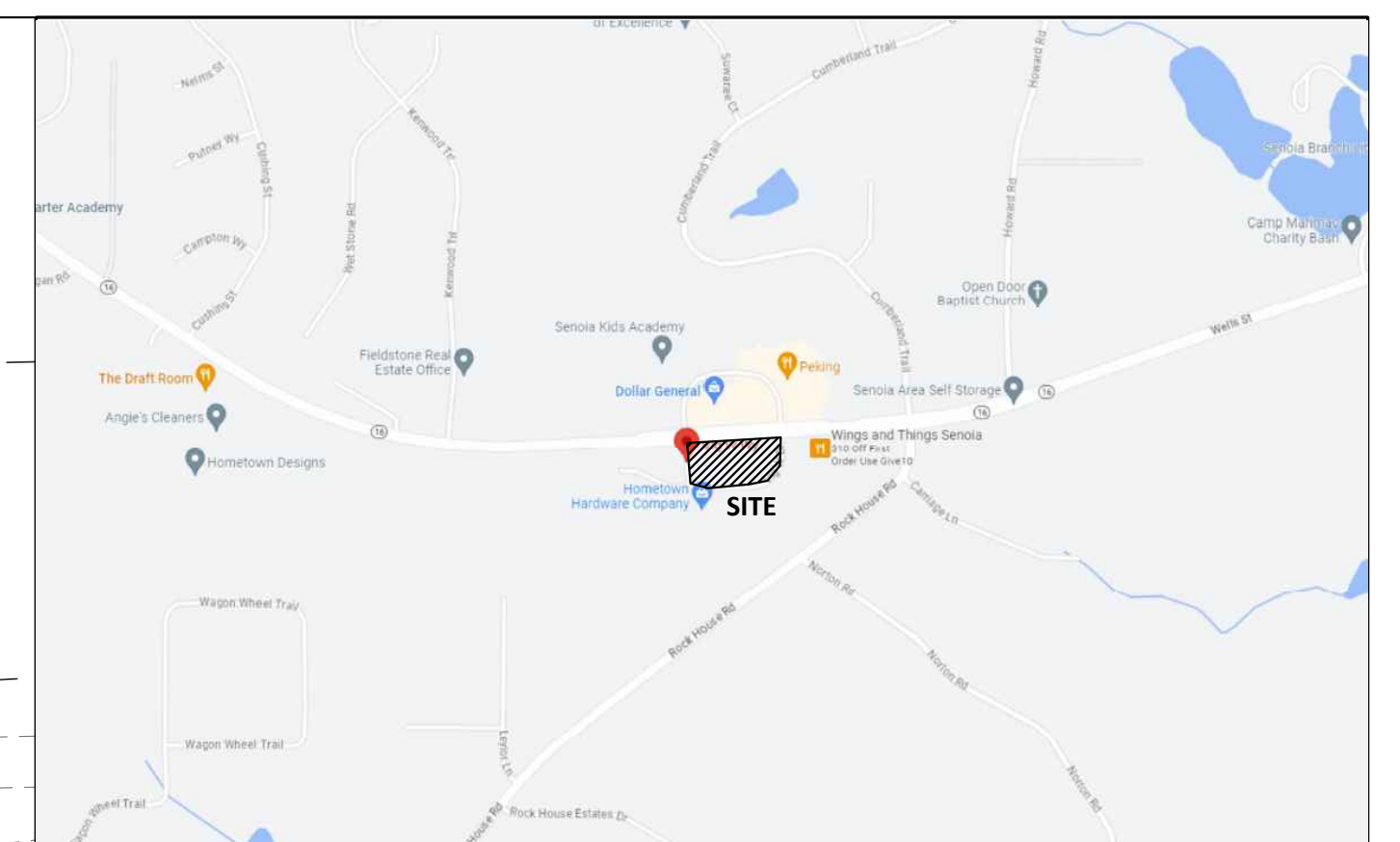


SCALE:	
DRAWN BY:	D.LEE
PROJECT MANAGER:	D.LEE
CHECKED BY:	D.LEE



# LOCATION MAP

N.T.S.

### GENERAL SITE NOTES:

- PART OF PARENT PARCEL NUMBER(S); 163 1247 068 AND 163 1247 069
- PROPERTY ADDRESS: VILLAGE WEST DRIVE, SENOIA, GA 30276
- TOTAL SITE AREA: 2.40 ACRES
- PROPERTY CURRENT ZONING: GC (GENERAL COMMERCIAL)  
MIN. LOT AREA: 1.00 AC.  
LOT WIDTH: 100 FT (MINOR THOROUGHFARE)  
FRONT YARD SETBACK: 25 FT  
REAR YARD SETBACK: 30 FT  
SIDE YARD SETBACK: 20 FT  
HEIGHT LIMIT: 40 FT
- NO WETLANDS OR STATE WATERS ARE PRESENT ON THIS SITE OR WITHIN 200 FEET OF THIS SITE.
- PROPERTY TO BE SERVED BY THE CITY OF SENOIA WATER AND SEWER DEPARTMENT FOR WATER AND SEWER SERVICE.
- THERE ARE NO EXISTING STRUCTURES OR FEATURES ON THIS SITE.
- EXISTING EASEMENTS ASSOCIATED WITH THIS SITE ARE AS SHOWN.
- STORM WATER DETENTION HAS BEEN PROVIDED BY THE EXISTING DETENTION POND, DESIGNED AND AS-BUILT AS PART OF THE CUMBERLAND WEST OVERALL DEVELOPMENT.

### CONSTRUCTION NOTES:

- ALL RADII ARE MEASURED FROM BACK OF CURB
- PARKING LOT / PARKING SPACE / ROADWAY DIMENSIONS ARE MEASURED FROM FACE OF CURB

### PARKING CALCULATIONS

- TOTAL REQUIRED PARKING SPACES: 3 HC SPACES & 30 PASSENGER CAR (1 SP / 300 SF)
- TOTAL PARKING SPACES PROVIDED: 61 SPACES (INCLUDES 5 H.C. SPACES, 48 PASSENGER CAR SPACES, AND 08 MDP SPACES)

### OPEN SPACE & LANDSCAPE CALCULATIONS

- TOTAL SITE OPEN SPACE / LANDSCAPE AREA: ±45,148 SF (1.04 AC)
- SITE OPEN SPACE / LANDSCAPE AREA PERCENTAGE: (1.04 / 2.40) X 100 = 43.33%

### SURVEY AND FEMA FLOOD NOTE:

NO PORTIONS OF THIS PROPERTY LIES WITHIN A SPECIAL FLOOD HAZARD ZONE AS PER THE F.E.M.A FLOOD INSURANCE RATE MAP (FIRM) NO. 13077C0287D, WITH EFFECTIVE DATE OF 02/06/2013.

BOUNDARY INFORMATION WAS TAKEN FROM THE REVISED FINAL PLAT FINAL PLAT OF VILLAGE WEST COMMERCIAL PHASE 1, PREPARED BY MCLAIN SURVEYING, INC. DATED 03/07/2023.

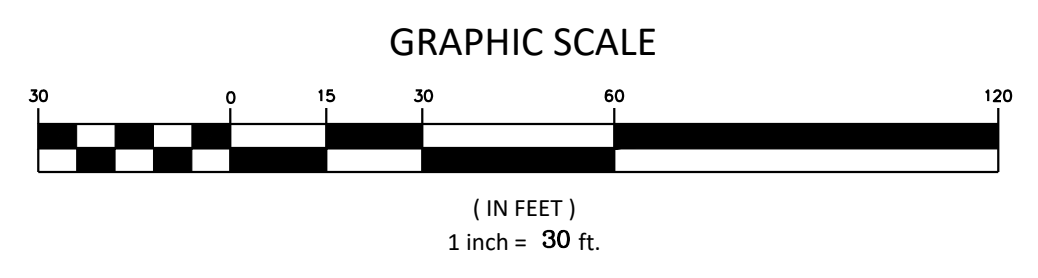
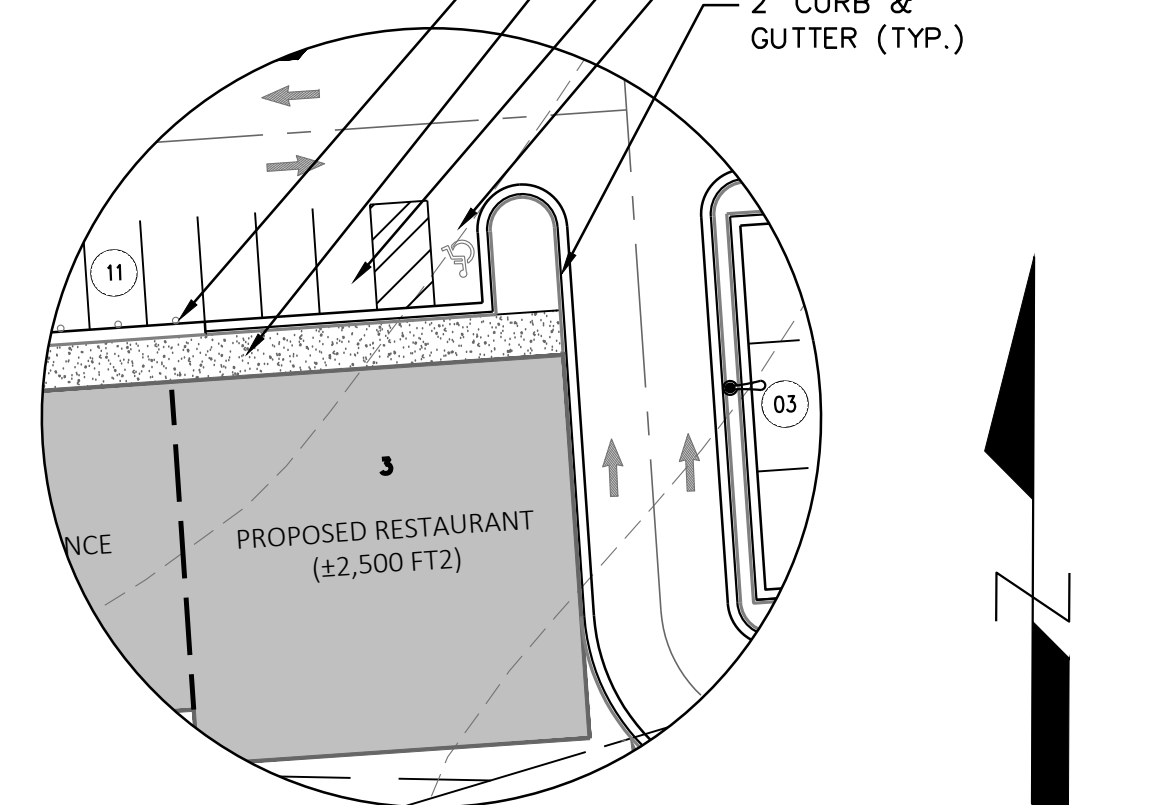
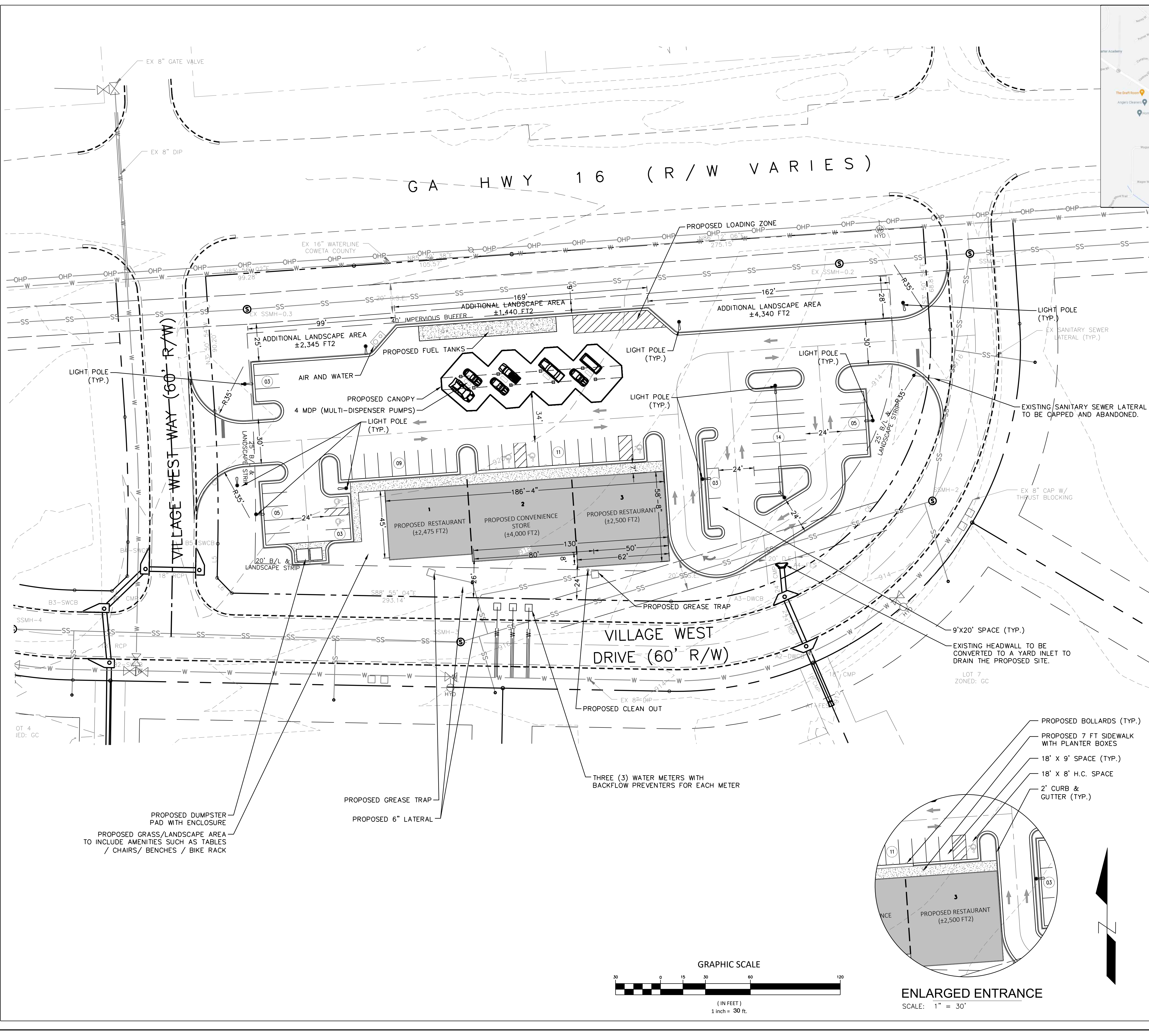
### SITE LIGHTING NOTES:

- SIGHT LIGHTING SHALL BE PROVIDED ALONG ALL PUBLIC RIGHTS OF WAY UTILIZING DECORATIVE POLES AND FIXTURES. STREETLIGHTS SHALL BE STAGGERED SPACED NO MORE THAN 150 FT ON CENTER ALONG BOTH SIDES OF ROADWAYS.
- LIGHTING IN PARKING LOTS SHALL PROVIDE A MINIMUM ILLUMINATION OF 2.4 FOOT CANDLES AS MEASURED AT GRADE LEVEL.
- ALL BUILDING ENTRANCES, WALKS, AND VEHICULAR ACCESS SHALL BE ILLUMINATED.
- LIGHTING DESIGN STANDARDS SHALL BE CONSISTENT WITH DOWNTOWN CORRIDOR (HWY 16) OVERLAY. LIGHTING SHALL BE NON-INTRUSIVE TO NEIGHBORS. MOTION DETECTORS AND TIMERS ARE ENCOURAGED FOR LOADING AREAS. WHERE ADJACENT TO RESIDENTIAL USES, ILLUMINATION SHALL NOT EXCEED 0.3 FOOT CANDLES AT TEN FEET BEYOND THE PROPERTY LINE.
- FIXTURES SHALL BE PRIMARILY DOWN-FIRING. IF UP-FIRING FIXTURES ARE TO BE USED, THEY MUST BE AIMED AT A WHITE HORIZONTAL REFLECTOR AND PREVENT DARK SKY INTRUSION
- THE LIGHT SOURCE SHOULD NOT BE VISIBLE TO DRIVERS, PEDESTRIANS, OR BICYCLISTS UNLESS THEY ARE DIRECTLY UNDER FIXTURE.
- THE PROPOSED BUILDING WILL HAVE WALL MOUNTED LIGHTS AND THE CANOPY WILL BE LIT.
- SITE LIGHTING SHALL BE AT LEAST TWO SPACES AWAY FROM A TREE ISLAND WHERE POSSIBLE. IF LIGHTING IS PLACED IN AN ISLAND, THE LIGHT SHALL BE PLACED DIRECTLY ADJACENT TO THE PARKING EDGE.

### SIDEWALK CONNECTIVITY:

- A 6 FOOT SIDEWALK IS REQUIRED ALONG ALL PUBLIC ROAD FRONTAGES.
  - GA HWY 16: ± 500 L.F.
  - VILLAGE WEST WAY: ± 240 L.F.
  - VILLAGE WEST DRIVE: ± 670 L.F.

TOTAL ROAD FRONTAGE FOR SIDEWALK CONNECTIVITY = 1,410 L.F.



**LOT 1 @ VILLAGE WEST**  
 AA SENOIA PROPERTIES, LLC  
 LAND LOT 247; DISTRICT 1  
 VILLAGE WEST WAY, CITY OF SENOIA  
 COWETA COUNTY

DESIGN PROFESSIONAL

RECORD/REVISION

NO.	DESCRIPTION	DATE

SHEET NAME

# CONCEPT SITE PLAN

SHEET NUMBER

## C-100

NOT ISSUED FOR CONSTRUCTION