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# CONSTRUCTION PLANS FOR SENOIA CAR WASH

## TUCKER ROAD SENOIA, GA 30276

### SHEET INDEX

C.100	COVER SHEET
C.110	EXISTING CONDITIONS/DEMO PLAN
C.200	SITE LAYOUT PLAN
C.300	GRADING & DRAINAGE PLAN
L.100	PRELIMINARY TREE REMOVAL PLAN
L.200	PRELIMINARY PLANTING PLAN

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 EXPIRATION: 05/30/2023

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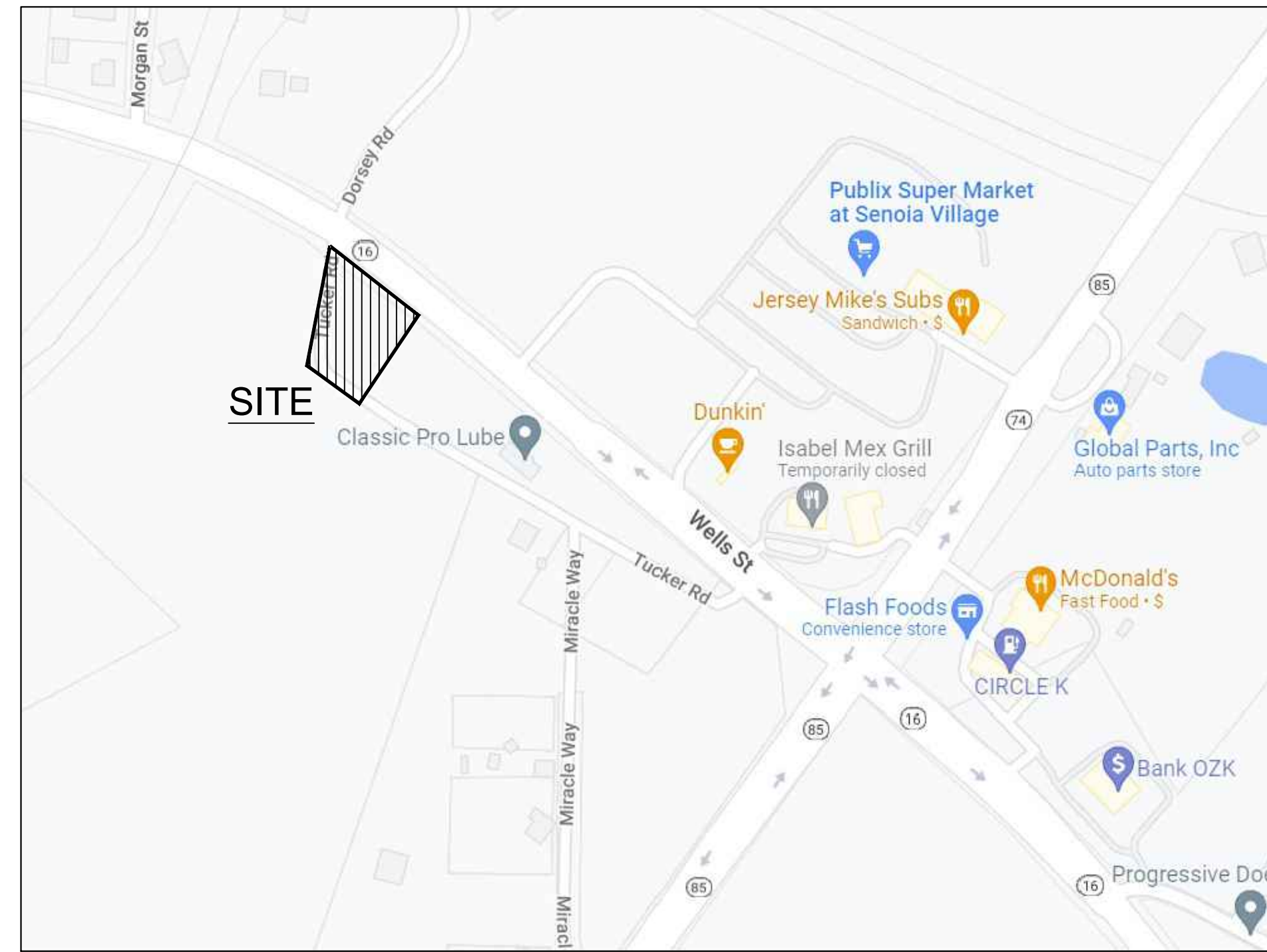
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OWNER INFORMATION:  
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 FORSYTH, GA 31029  
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REVISIONS:

NO.	DATE	DESCRIPTION



LOCATION MAP (N.T.S.)

### GENERAL NOTES

BOUNDARY & TOPO INFORMATION TAKEN FROM SURVEY BY REFERENCE POINT LAND SURVEYING, LLC.

PROPERTY IS LOCATED IN THE 278 & 279 LAND LOTS OF THE 1ST DISTRICT, SENOIA, COWETA COUNTY, GEORGIA.

NOTIFY THE CITY OF SENOIA INSPECTION OFFICE 24 HRS BEFORE BEGINNING OF CONSTRUCTION.

ALL BUFFERS AND TREE SAVE AREAS SHALL BE CLEARLY IDENTIFIED BY FLAGGING AND/OR FENCING PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE.

STANDARD AND SPECIFICATIONS: ALL DESIGNS WILL CONFORM TO AND ALL WORK WILL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE PUBLICATION ENTITLED "MANUAL FOR EROSION AND SEDIMENTATION CONTROL IN GEORGIA."

ANY DISCREPANCY FOUND SHALL BE REFERRED TO THE SITE ENGINEER BY THE CONTRACTOR FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.

CUT & FILL SLOPES SHALL NOT EXCEED 2:1

ALL CUT & FILL SLOPES MUST BE SURFACE ROUGHENED AND VEGETATED WITHIN SEVEN DAYS OF THEIR CONSTRUCTION

ALL FILL SLOPES WILL HAVE SILT FENCE AT TOE OF SLOPES ANY DISCREPANCY FOUND SHALL BE REFERRED TO THE SITE ENGINEER BY THE CONTRACTOR FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.

ALL CONSTRUCTION SHALL MEET OR EXCEED CITY OF SENOIA MINIMUM STANDARDS. ALL GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES. CONTRACTOR SHALL VERIFY ALL BENCH MARKS BEFORE BEGINNING ANY WORK. CONTRACTOR HAS OPTION TO USE PRECAST STRUCTURES AND HEADWALLS OR CAST IN PLACE.

ALL PIPE AND STRUCTURES SHALL BE IN ACCORDANCE WITH CITY OF SENOIA SPECIFICATIONS. DETENTION BASIN AND EROSION CONTROL MEASURES TO BE ACCOMPLISHED PRIOR TO ANY OTHER CONSTRUCTION ON THE SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.

REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.

CONTRACTOR SHALL STAKE ALL BUILDING CORNERS FOR APPROVAL PRIOR TO POURING ANY FOOTINGS.

THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES SHALL TAKE PLACE PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.

EROSION CONTROL MEASURES ARE TO BE ACCOMPLISHED PRIOR TO ANY OTHER CONSTRUCTION ON THE SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.

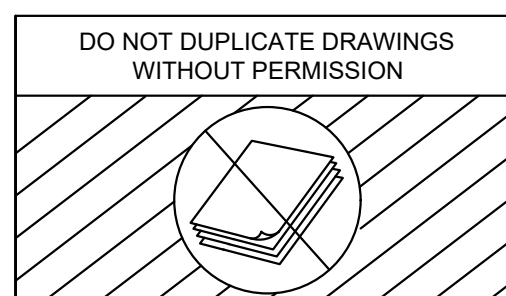
EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION BY THE ISSUING AUTHORITY.

SEDIMENT AND EROSION CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY.

DO NOT SCALE FROM DRAWINGS.

### SIDEWALK AND ADA SPACE SLOPE:

CROSS SLOPE ON ALL SIDEWALKS SHALL NOT EXCEED 2.0%.  
 ADA PARKING AND VAN SPACES SHALL NOT EXCEED 2.0% SLOPE IN ANY DIRECTION.



#### CAUTION

CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING THE SERVICES OF A PRIVATE UTILITY LOCATOR FIRM DURING THE ENTIRE COURSE OF CONSTRUCTION. CONTRACTOR SHALL PAY FOR SAID SERVICES. CONTRACTOR SHALL REPAIR ALL UTILITIES DAMAGED BY CONSTRUCTION ACTIVITIES, AT NO ADDITIONAL COST TO THE OWNER/DEVELOPER.

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CONTRACTOR SHALL BE RESPONSIBLE FOR COMPACTION OF BACKFILL OF ALL UTILITY TRENCHES WITHIN SITE WORK LIMITS. THIS INCLUDES TRENCHES DUG AND BACKFILLED BY LOCAL UTILITIES, SUCH AS POWER, GAS, TELEPHONE, ETC. CONTRACTOR SHALL PROVIDE ADDITIONAL BACKFILL AND COMPACTION AS NECESSARY, IF SETTLEMENT OCCURS.

### 9 NARRATIVE

THIS PROJECT INVOLVES THE CONSTRUCTION OF A 4,290SF AUTOMATIC CAR WASH, VACUUM STATIONS, PARKING, AND ASSOCIATED DRIVEWAYS IN SPALDING COUNTY, GA. THE EXISTING LOT IS AN A GRASSED LOT THAT DRAINS TO THE SOUTH OF THE SITE INTO AN EXISTING STORMWATER DETENTION POND THAT DRAINS THROUGH EXISTING STORMWATER INFRASTRUCTURE AND ULTIMATELY TO WASP CREEK.

THE PROPOSED DEVELOPMENT WILL UTILIZE A STORM WATER PIPE SYSTEM TO CONVEY STORM WATER RUNOFF THROUGH A PROPOSED WALLED DETENTION POND THEN TO AN EXISTING STORM WATER SYSTEM TO THE SOUTH OF THE SITE. WITH THE USE OF EROSION CONTROL BMPs FROM THE GEORGIA EROSION CONTROL MANUAL THERE SHOULD BE NO HARMFUL EFFECTS ON DOWNSTREAM PROPERTIES DUE TO THIS DEVELOPMENT.

CONSTRUCTION SCHEDULE	
MONTH 1	MONTH 2
ACTIVITY	
NOTIFY INSPECTOR 24 HOURS PRIOR TO CONSTRUCTION:	
PLACEMENT OF CONSTRUCTION EXIT, PERIMETER BMPs, AND SILT STORAGE BMPs	
NO GRADING OPERATIONS ALLOWED UNTIL PERIMETER AND SILT STORAGE BMPs ARE PROPERLY INSTALLED AND INSPECTED)	
CLEARING, GRUBBING, AND GRADING OPERATIONS (AS NECESSARY)	
INSTALL PARKING LOT ADDITION AND CONSTRUCTION OF BUILDING	
GRASSING - INCLUDING MULCHING, TEMPORARY AND PERMANENT VEGETATION	
MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES	
FINAL STABILIZATION OF SITE	



Know what's below.  
 Call before you dig.

**SENOIA CAR WASH**  
**TUCKER ROAD**  
**SENOIA, GA 30276**

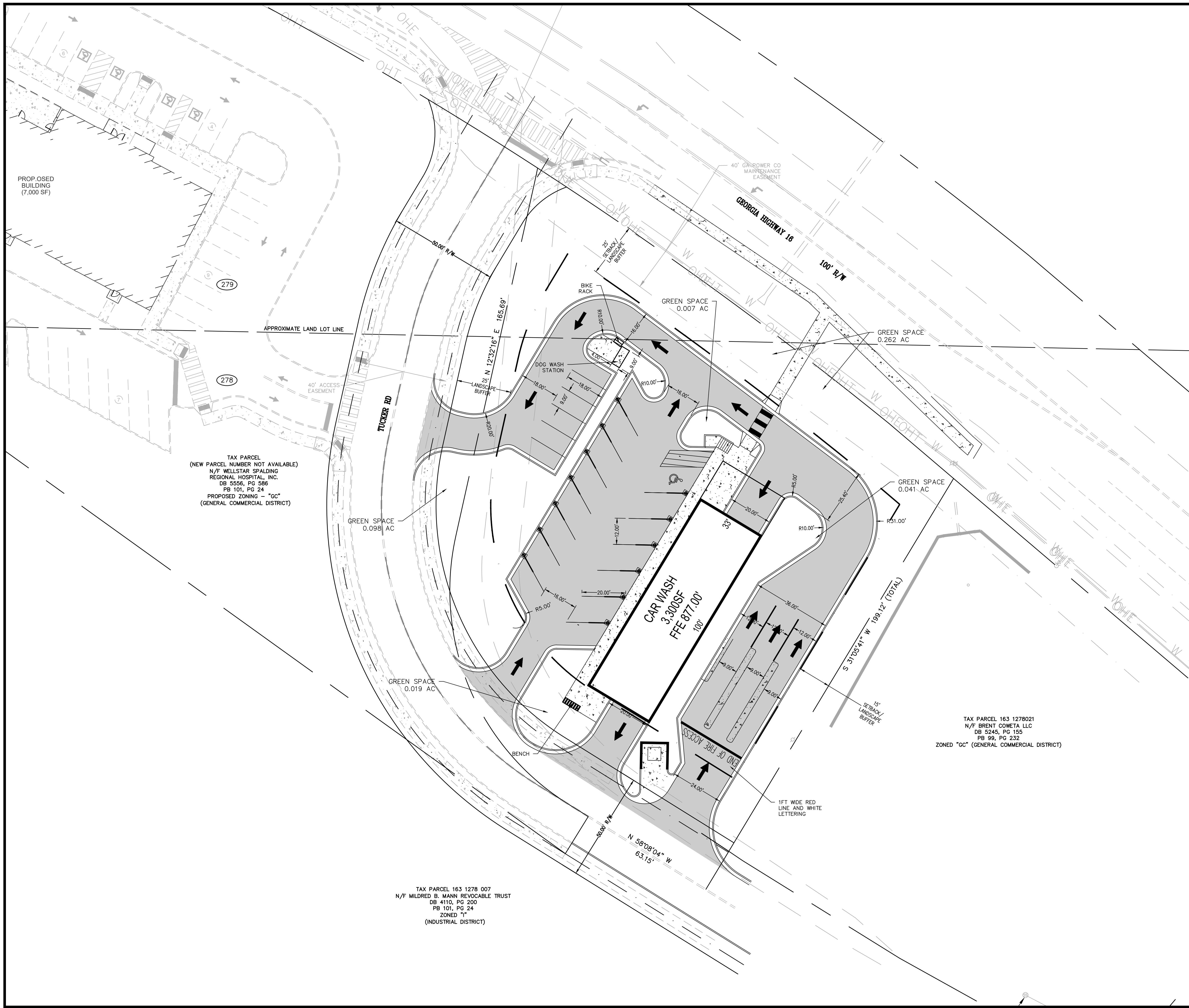
SHEET TITLE:  
 COVER SHEET

SHEET NUMBER:  
**C.100**









PROPOSED BUILDING (7,000 SF)

TAX PARCEL (NEW PARCEL NUMBER NOT AVAILABLE)  
 N/F WELLSTAR SPALDING REGIONAL HOSPITAL, INC.  
 DB 5556, PG 586  
 PB 101, PG 24  
 PROPOSED ZONING - "GC"  
 (GENERAL COMMERCIAL DISTRICT)

TAX PARCEL 163 1278 007  
 N/F MILDRED B. MANN REVOCABLE TRUST  
 DB 4110, PG 200  
 PB 101, PG 24  
 ZONED "I"  
 (INDUSTRIAL DISTRICT)

TAX PARCEL 163 1278021  
 N/F GREN COVETA LLC  
 DB 5245, PG 155  
 PB 99, PG 232  
 ZONED "GC" (GENERAL COMMERCIAL DISTRICT)

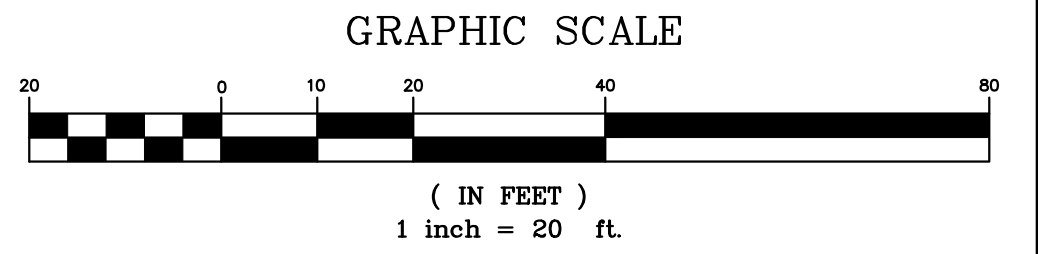
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DO NOT DUPLICATE DRAWINGS WITHOUT PERMISSION



**SITE DATA & NOTES**

1. THE SUBJECT PROPERTY IS PART OF THE PARCEL DESIGNATED AS COWETA COUNTY TAX PARCEL 163 1278 007 AND IS CURRENTLY ZONED "I" (INDUSTRIAL DISTRICT) WITH A PROPOSED ZONING OF "GC" (GENERAL COMMERCIAL DISTRICT)
2. THIS SITE IS ±0.97AC OF LAND, WITH ±0.54AC DISTURBE
3. THE FOLLOWING ARE THE MINIMUM BUILDING SETBACK REQUIREMENTS FOR GENERAL COMMERCIAL DISTRICT:  
 -FRONT YARD (ARTERIAL & COLLECTOR STREETS) = 75'  
 -FRONT YARD (LOCAL STREETS) = 30'  
 -SIDE YARD (ARTERIAL & COLLECTOR STREETS) = 50' W/ 30' BUFFER  
 -SIDE YARD (LOCAL STREETS) = 20' W/ 10' BUFFER  
 -REAR YARD (ARTERIAL & COLLECTOR STREETS) = 80' W/ 40' BUFFER  
 -REAR YARD (LOCAL STREETS) = 30' W/ 15' BUFFER
4. ALL TREES WILL BE REMOVED FOR SITE TO BE MASS GRADED. SEE LANDSCAPE PLAN FOR MORE DETAIL.
5. GREENSPACE REQUIRED 0.19AC, GREENSPACE PROVIDED IS 0.43AC. SEE LANDSCAPE PLAN FOR CALCULATION.
6. LIGHTING IS SHOWN ON LANDSCAPE PLAN.

**VARIANCES & NOTES**

1. ALL TREE COMMENTS WILL BE ANSWERED OR SHOWN ON LANDSCAPE PLAN
2. ALL UTILITIES WILL BE UNDERGROUND AND ALL HVAC OR MECHANICALS ARE TO BE SCREENED OR IF ALL INDOORS SO STATE AND IF ON ROOF SHOW THE UNITS BEHIND THE PARAPET THIS WILL BE SHOWN ON ELEVATIONS.
3. MASS GRADING IS PROHIBITED, THIS WILL BE A VARIANCE BECAUSE THE SITE HAS TO BE MASS GRADED. THERE WILL BE A TREE CHART ON LANDSCAPE PLAN
4. COURTYARD DESIGN AND PARKING COMMENT WILL REQUIRE A VARIANCE. THERE WILL BE NO COURTYARD AND ONLY EMPLOYEE PARKING PROVIDE.
5. THIS SITE IS A CARWASH AND WILL HAVE NO INSIDE COMMERCIAL FLOOR AREA VARIANCE REQUIRED IF THIS IS NOT ALLOWED. THIS IS FOR ALL PARKING COMMENTS.
6. THE DUMPSTER WILL BE SCREEN PER COMMENT AND SHOWN IN THE ELEVATION TO MATCH BUILDING MATERIAL.
7. THE BUILDING WILL HAVE FOUNDATION PLANTINGS ON ONE SIDE OF THE BUILDING AND THERE IS A SIDE WALK AND ENTRANCE AND EXIST FOR CARWASH SO NO ROOM FOR FOUNDATION PLANTING. A VARIANCE IS REQUIRED.
8. ADD FURNISHINGS TO THE SITE PLAN AND LANDSCAPE PLAN ADDED A BIKE RACK AND BENCH TO PLANS.
9. BUILDING FACADES WILL COMMENT THERE WILL BE A CHART AND INFORMATION ON THE ELEVATION PLANS PROVIDED.
10. BIKE RACK ADDED TO DOG WASH ARE PER CITY ENGINEER.
11. LIGHTING IN PARKING LOTS SHALL PROVIDE A MIN OF 2.4 ILLUMINATION FOOT CANDLES AS MEASURED AT GRADE LEVEL.
12. LIGHTING DESIGN STANDARDS OF THE DOWNTOWN CORRIDOR HWY 16 OVERLAY WILL BE FOLLOWED WITH DESIGN AND AT THE TIME OF FULL PLAN SUBMITTAL A LIGHTING PLAN WILL BE PROVIDED. ALL LIGHTING WILL NOT ILLUMINATE ANY AREA OUTSIDE OF SITE AND WILL NOT SHINE IN ANY PUBLIC R/W

**MOORE CIVIL**

**CONSULTING ENGINEER**

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**SENOIA CAR WASH**

**TUCKER ROAD**

**SENOIA, GA 30276**

SHEET TITLE:  
 SITE LAYOUT

SHEET NUMBER:  
**C.200**

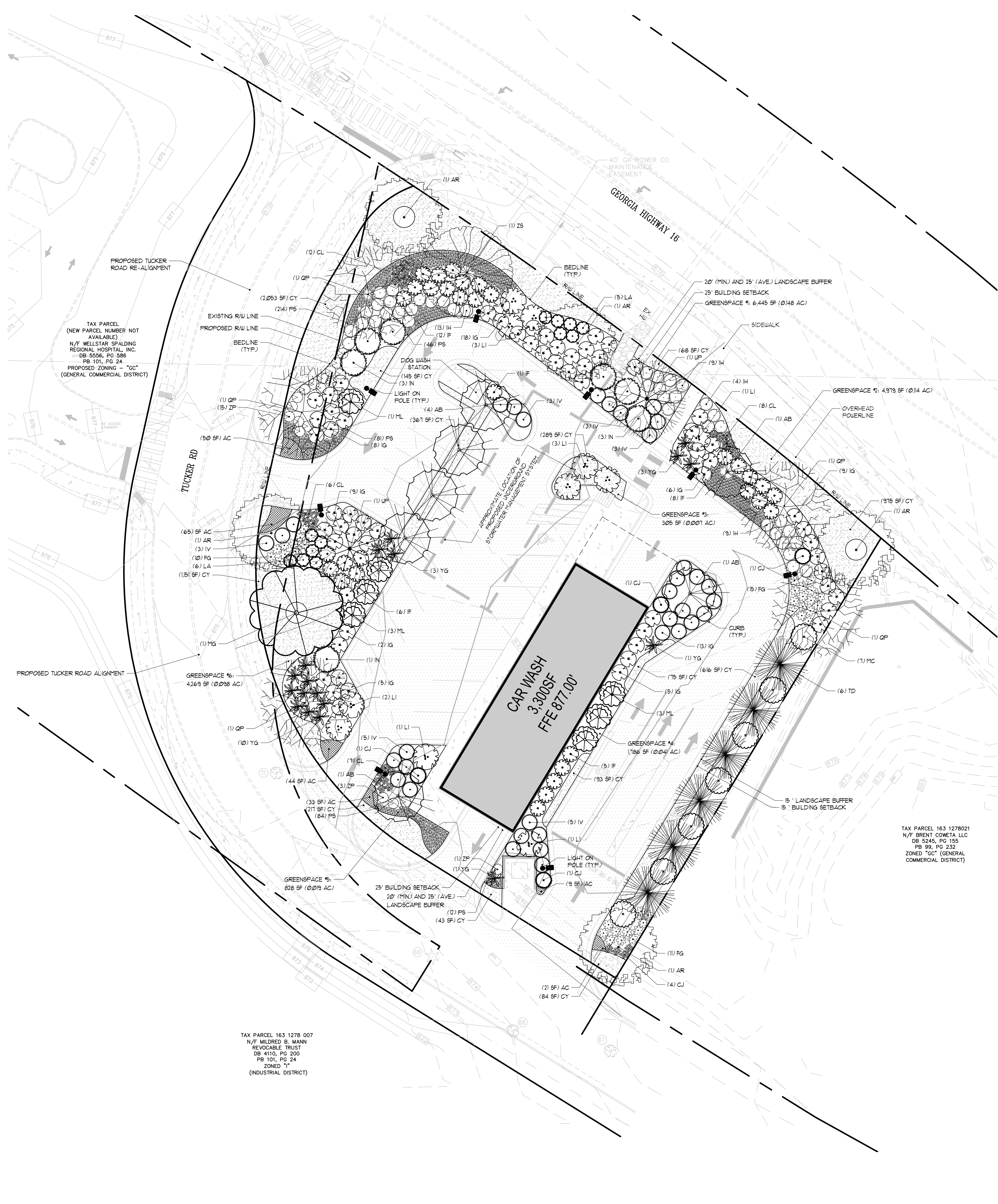












### CITY OF SENOIA TREE PROTECTION & LANDSCAPE REQUIREMENTS / CALCULATIONS

TOTAL SITE AREA: 42,292 SF (0.971 AC APPROX.)  
 PERMANENTLY DISTURBED AREA: 23,680 SF (0.544 AC)  
 TOTAL PARKING SPACES AREA: 4,572 SF (0.105 AC)

A MINIMUM OF 20 PERCENT OF ALL EXISTING TREES HAVING A DIAMETER OF 12 INCHES OR GREATER SHALL BE RETAINED.  
 THIS REQUIREMENT CANNOT BE SATISFIED BECAUSE ALL TREES ON THIS SITE WILL BE REMOVED DUE TO MASS GRADING.  
 A VARIANCE FOR THIS REQUIREMENT WILL BE REQUIRED.

SPECIMEN TREES REMOVED FROM THIS SITE DUE TO MASS GRADING:  
 1. TREE #9 (42' WHITE OAK) (OBSERVED TO BE DEAD)  
 2. TREE #60 (36' HICKORY)

REQUIRED GREENSPACE PER SEC. 14-199 (GROSS LOT AREA x 0.20 (MIN.)):  
 42,292 SF x 0.20 = 8,458 SF (MIN) REQUIRED  
 TOTAL SQUARE FOOTAGE OF ALL LANDSCAPE BUFFERS AND ISLANDS (GREENSPACE) PROVIDED: 18,621 SF (0.421 AC).  
 REQUIREMENT IS SATISFIED.

REQUIRED CANOPY TREES PER SEC. 40-229 (LANDSCAPE PLAN) (PER 1. DIST. AREA/1000):  
 23,681 / 1000 = 24 CANOPY TREES (MIN) REQUIRED  
 TREES PROVIDED: 21  
 REQUIREMENT IS NOT SATISFIED. VARIANCE IS REQUIRED.

REQUIRED CANOPY TREES PER HIGHWAY 16 COMMERCIAL OVERLAY (GREENSPACE/250):  
 18,621 / 250 = 75 CANOPY TREES (MIN) REQUIRED  
 TREES PROVIDED: 21  
 REQUIREMENT IS NOT SATISFIED. VARIANCE IS REQUIRED.

REQUIRED UNDERSTORY TREES PER SEC. 40-229 (LANDSCAPE PLAN) (PER 1. DIST. AREA/1000):  
 23,681 / 1000 = 24 UNDERSTORY TREES (MIN) REQUIRED  
 UNDERSTORY TREES PROVIDED: 25  
 REQUIREMENT IS SATISFIED.

REQUIRED SHRUBS PER HIGHWAY 16 COMMERCIAL OVERLAY (CANOPY TREES x 3):  
 21 x 3 = 63 SHRUBS (MIN) REQUIRED  
 SHRUBS PROVIDED: 283  
 REQUIREMENT IS SATISFIED.

REQUIRED LANDSCAPE BUFFERS:  
 25' ALONG HIGHWAY 16 FRONTAGE (REFER TO PLAN)  
 25' ALONG TUCKER ROAD FRONTAGE (REFER TO PLAN)  
 5' ALONG EAST PROPERTY LINE (REFER TO PLAN)  
 REQUIRED SCREENED AREAS: DUMPSTER (REFER TO PLAN)  
 REQUIREMENT IS SATISFIED.

REQUIRED PARKING LOT LANDSCAPING (8% OF TOTAL PARKING SPACES AREA):  
 4,572 x 0.08 = 366 SF (MIN) REQUIRED PARKING LOT LANDSCAPING  
 PROVIDED PARKING LOT LANDSCAPING: 2,718 SF  
 REQUIREMENT IS SATISFIED.

THE PERIMETER OF ALL PARKING AREAS SHALL BE LANDSCAPED.  
 REQUIREMENT IS SATISFIED. REFER TO PLAN.

ALL AREAS NOT DEVOTED TO STRUCTURES, SITE DEVELOPMENT FEATURES, AND NATURAL VEGETATION SHALL BE LANDSCAPED.  
 REQUIREMENT IS SATISFIED. REFER TO PLAN.

ALL PARKING FACILITIES SHALL BE SEPARATED FROM SIDEWALKS AND STREETS IN PUBLIC RIGHTS-OF-WAY BY WHEEL BUFFERS AND BY A STRIP OF LANDSCAPED SPACE AT LEAST TEN FEET WIDE RESERVED AS OPEN SPACE. REQUIREMENT IS SATISFIED. REFER TO PLAN.

50 PERCENT OF PLANT MATERIAL SHALL BE EVERGREEN SPECIES.  
 REQUIREMENT IS SATISFIED. REFER TO PLAN.

PERMANENT STRUCTURES CANNOT BE PERMITTED IN LANDSCAPE STRIPS, LANDSCAPE ISLANDS, OR BUFFERS INCLUDING BUT NOT LIMITED TO: HEADWALLS, DROP INLETS, CATCH BASINS, RIP-RAP, LIGHT FIXTURES, PHONE BOOTHS, ETC. REFER TO PLAN. VARIANCE REQUIRED FOR UNDERGROUND DIRECTION CUTOFF HEADWALL THAT IS WITHIN HIGHWAY 16 BUFFER PLANTING.

PARKING ISLANDS MUST BE PLANTED WITH SHADE TREES (MINIMUM TWO-INCH CALIPER). REQUIREMENT IS SATISFIED. REFER TO PLAN.

NO PARKING SPACE SHALL BE LOCATED MORE THAN 100 FEET FROM A CANOPY TREE. SATISFIED. REQUIREMENT IS SATISFIED. REFER TO PLAN.

LANDSCAPED AREAS SHALL HAVE A MINIMUM AREA OF 100 SQUARE FEET AND MINIMUM DIMENSION OF SIX (6) FEET. REQUIREMENT IS SATISFIED. REFER TO PLAN.

ALL REQUIRED LANDSCAPE STRIPS MUST BE PLANTED AT A DENSITY 50 AS TO PROVIDE AT LEAST 60% SPATIAL COVERAGE OF TREES AND SHRUBS. REQUIREMENT IS SATISFIED. REFER TO PLAN.

BUILDINGS SHALL INCORPORATE LIVE PLANT MATERIALS AS FOUNDATION PLANTINGS. REFER TO PLAN.

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GRAPHIC SCALE

( IN FEET )  
1 inch = 20 ft.

LANDSCAPE ARCHITECT CONSULTANT:  
 PARKER LAND DESIGN LLC  
 REECE R. PARKER, P.L.A.  
 670 COPPER CREEK CIRCLE  
 MILTON, GA 30004  
 RPARKER@PARKERLANDDESIGN.NET  
 (678) 436-6999

**SENOIA REQUIRED NOTES:**

- ALL LANDSCAPING SHALL BE IN PLACE PRIOR TO THE CONNECTION OF PERMANENT POWER OR RECORDING OF A FINAL PLAT.
- CONTACT THE CITY MANAGER, 770-599-3679, FOR A SITE INSPECTION UPON COMPLETION OF LANDSCAPE INSTALLATION.
- IF THE LANDSCAPE DESIGN OR PLANT MATERIAL ARE CHANGED IN ANY WAY FROM THE SENOIA CITY PERMITTED PLAN, YOU SHALL SUBMIT TWO SETS OF REVISED PLANS TO THE CITY ARBORIST'S OFFICE FOR APPROVAL PRIOR TO ANY LANDSCAPE INSTALLATION.

PLANT LIST									
SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	REMARKS	SIZE @ MATURITY (APPROX)	INDIGENOUS TO SENOIA AND THIS PART OF GEORGIA	EVERGREEN	
<b>CANOPY TREES:</b>									
AB	ACER BURGERSANUM 'STREETWISE'	STREETWISE TRIDENT MAPLE	1	25" CAL.	B&B, FULL HEAD, SPECIMEN	20-35' x 8-15' W			
AR	ACER RUBRUM	RED MAPLE	5	25" CAL.	B&B, FULL HEAD, SPECIMEN, CENTRAL LEADER	40-50' x 25-35' W	5		
YG	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	1	25" CAL.	B&B, FULL HEAD, SPECIMEN	60-80' x 30-50' W	1	1	
QP	QUERCUS PHAELOS	WILLOW OAK	5	25" CAL.	B&B, FULL HEAD, SPECIMEN	40-60' x 30-60' W	5		
TD	TAXODIUM DISTICHUM	BALD CYPRESS	6	25" CAL.	B&B, FULL HEAD, SPECIMEN	50-70' x 20-30' W	6		
UP	ULMUS PARVIFOLIA 'BOSQUE'	BOSQUE LACEBARK ELM	2	25" CAL.	B&B, FULL HEAD, SPECIMEN	35-45' x 20-30' W			
ZS	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	1	25" CAL.	B&B, FULL HEAD, SPECIMEN	60-80' x 40-50' W			
		TOTAL CANOPY TREES	21				11	1	
<b>UNDERSTORY TREES:</b>									
IN	ILEX x NELLIE R STEVENS'	NELLIE R STEVENS HOLLY	1	25" CAL.	B&B, FULL HEAD, SPECIMEN	15-25' x 10-15' W			1
LI	LAGERSTROMIA INDICA 'NATCHEZ'	NATCHEZ CRAPE MYRTLE	11	25" CAL.	B&B, MULTI-TRUNK, SPECIMEN	21' x 21' W			
ML	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	LITTLE GEM MAGNOLIA	1	25" CAL.	B&B, MULTI-TRUNK, SPECIMEN	20' x 10' W	1	1	
		TOTAL UNDERSTORY TREES	25				1	14	
<b>SHRUBS AND GRASSES:</b>									
CJ	CAPELLIA JAPONICA 'DEBUTANTE'	'DEBUTANTE' CAPELLIA	4	#1	CANTAINER GROWN, FULL, SPECIMEN	4-6' T x 4-6' W			4
CL	CHASMANTHUM LATIFOLIUM	UPLAND SEA OATS	31	#3	CANTAINER GROWN, FULL, CLUMP	2-4' T x 2-3' W	31		
FG	FOTHERGILLA GARDENII	BOTTLEBRUSH DWARF	35	#3	CANTAINER GROWN, FULL, SPECIMEN	2-3' T x 3-4' W	35		
IG	ILEX GLABRA 'DENSE'	DENSE INKERRY HOLLY	64	#3	CANTAINER GROWN, FULL, SPECIMEN	4-11' T x 4-11' W	64	64	
IV	ILEX VOMITORIA 'NANA'	DWARF YALPON HOLLY	35	#3	CANTAINER GROWN, FULL, SPECIMEN	2-3' T x 3-4' W	35	35	
IH	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEETSPICE	40	#5	CANTAINER GROWN, FULL, SPECIMEN	3-4' T x 4-6' W	40		
IF	ILLICUM FLORIDANUM	FLORIDA ANISE	32	#3	CANTAINER GROWN, FULL, SPECIMEN	6-10' T x 4-8' W	32	32	
LA	LEUCOTHOE AXILLARIS	COAST LEUCOTHOE	11	#5	CANTAINER GROWN, FULL, SPECIMEN	2-4' T x 3-6' W	11	11	
MC	MORELLA CERIFERA	SOUTHERN WAX MYRTLE	1	#1	CANTAINER GROWN, FULL, SPECIMEN	15-20' T x 15-20' W	1	1	
YG	YUCCA GLORIOSA	MOUND-LILY YUCCA	18	#3	CANTAINER GROWN, FULL, SPECIMEN	6-8' T x 4-6' W	18	18	
		TOTAL SHRUBS AND GRASSES	283				278	171	
<b>GROUNDCOVERS:</b>									
AC	ANNUAL COLOR MIXED	ANNUAL COLOR	222 SF	4" POT	PROVIDE SELECTIONS FOR APPROVAL	N/A			
CY	CYNODON SPP.	BERMUDA GRASS	6,301 SF	N/A	SOD	N/A			
FB	PHLOX SUBULATA 'EVERLID BLUE'	EMERALD BLUE CREEPING PHLOX	561	4" POT	CANTAINER GROWN, FULL, SPECIMEN	6' T x 18" x 36" W	561	561	
ZP	ZAMIA INTEGRIFOLIA	COONIE PALM	18	3 GAL.	CANTAINER GROWN, FULL, SPECIMEN	2-3' T x 2-4' W	18	18	

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REVISIONS:  
 08/04/21 PRELIM SUBMITTAL

SHEET TITLE:  
**PRELIMINARY PLANTING PLAN**  
 SHEET NUMBER:  
**L.200**