

Historical Preservation Commission  
Application for Certificate of  
Appropriateness



City of Senolia  
P.O. Box 310  
Senolia, GA 30276  
(770) 599-3679

Name of Applicant: Keg Creek Landing LLC Date: 8/19/20

Applicant's Mailing Address: 270 W. Joff Davis Dr. Fayetteville GA

Applicant's Telephone Number: 678.251.3046 Fax Number: —

Property Address: Keg Creek Landing

Tax Parcel I.D. #: \_\_\_\_\_ Year Original Structure was Built: New

Proposed Material Change to the exterior of the structure: Seek approval of

Pattern Book for Single-Family Homes in KCL

Commercial and Residential Guidelines are available at [www.senolia.com/HPC](http://www.senolia.com/HPC). Would you like to purchase the Information Booklet on the Historic Neighborhood Overlay District?  
(specify: Commercial or Residential)

Required:

1. Blueprints and/or drawings which accurately depict the change(s), including specifications of architectural details, elevations, plans and profiles, to be made to the property;
2. A site plan which locates the proposed improvements on the Property and shows building line setbacks; and
3. Documentation which identifies the type materials to be used, including but not limited to siding, roofing material, windows and doors.

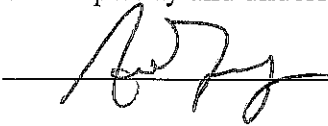
Notes:

1. An application meeting the specifications of the Historic Neighborhood Overlay Ordinance shall be submitted to the City Zoning Administrator fourteen (14) calendar days prior to the regularly scheduled monthly meeting of the Commission (2<sup>nd</sup> Monday of each month).
2. The application will be reviewed by the City Zoning Administrator to determine if it meets the minimum requirements, if the application does not meet the minimum requirements, the City Zoning Administrator will return it to the applicant for correction. If the Application meets the requirements of the Ordinance, it shall be placed on the agenda for the next regularly-scheduled Commission meeting.
3. The applicant or applicant's designated representative must be present at the Commission meeting and will be given an opportunity to be heard. If applicant or representative is not

- present, the Application will not be considered at the meeting and will be placed on the Commission's next regularly-scheduled meeting agenda (at the request of the Applicant).
4. The Commission may approve the Application as proposed or with any modifications it deems necessary, or deny the application.
  5. If denied, the applicant may appeal to the City Council in accordance with the Historic Neighborhood Overlay Ordinance. The ruling of the Mayor and Council shall be final.
  6. If the Application is approved, all rules and regulations related to the issuance of a building permit shall apply. Under no circumstances does approval of the Application release the applicant from any other permits that may be necessary.
- 

Personally appeared, \_\_\_\_\_, who, on oath, states that he or she is the Applicant and Owner of the foregoing, and that all of the statements are true to the best of his or her knowledge, and that the work to be done therein will conform to the requirements and regulations of the City of Senoia Building Codes and other ordinances of the City of Senoia, Georgia. He or she understands that the issuance of a building permit is an authorization to proceed with the proposed work and does not relieve him or her of the above requirements and regulations. Further, he or she is aware that any alterations to the plan will require a new application.

I have read completely and understand this Application.

Signed:  \_\_\_\_\_

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Disposition:

*City Zoning Administrator:*

Date Reviewed: \_\_\_\_\_

Meets minimum requirements of the Ordinance: \_\_\_\_ (Yes) \_\_\_\_ (No)

To be heard by the Historic Preservation Commission on: \_\_\_\_\_

*Historic Preservation Commissioner:*

Date reviewed: \_\_\_\_\_

Recommendation made: \_\_\_\_\_

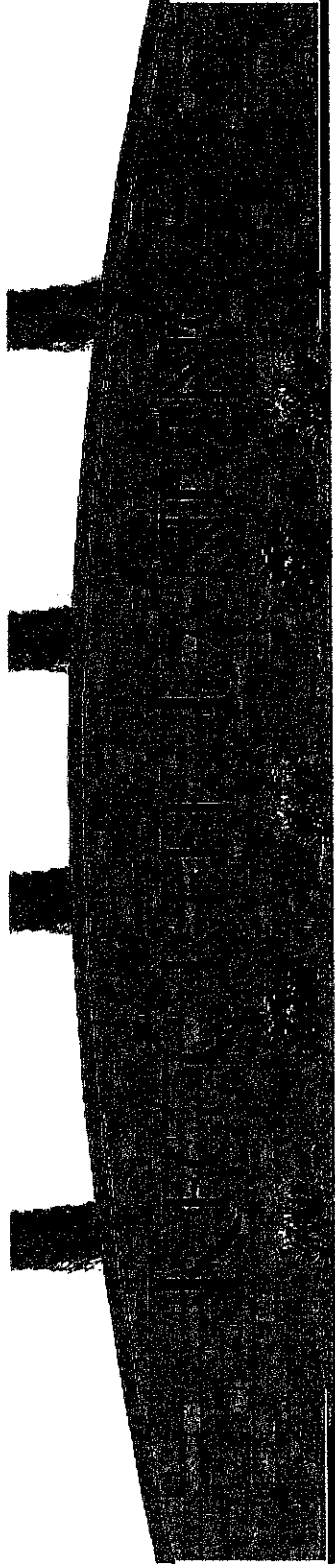
*City Council:*

Date reviewed: \_\_\_\_\_

Action taken: \_\_\_\_\_

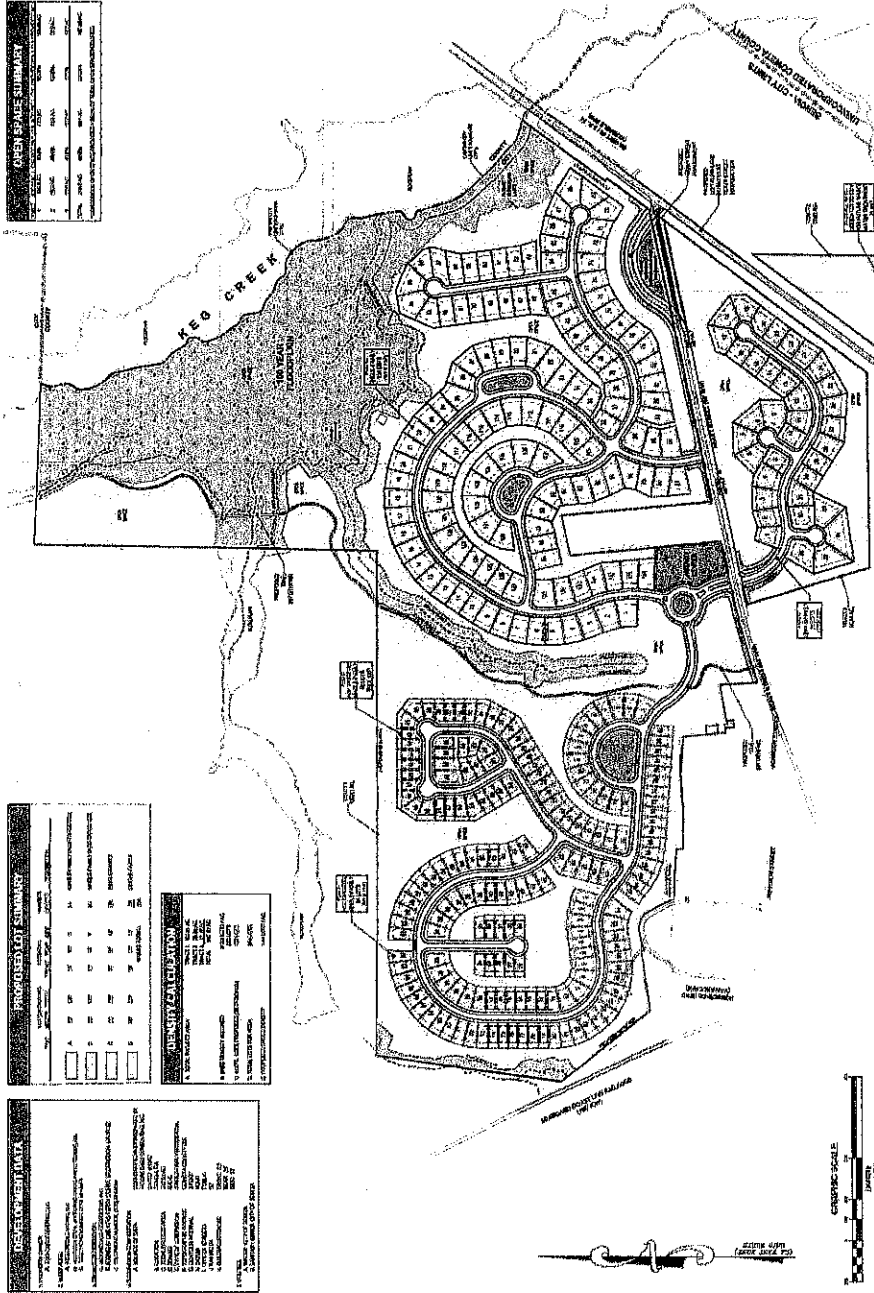
*Reference Building Permit Number:* \_\_\_\_\_

The Reserve at  
Keg Creek Landing  
Pattern and Concept Book



The Reserve  
at Keg Creek Landing

# Keg Creek Landing



Keg Creek Landing is a single-family subdivision located on the north and south sides of Seavy Street in the Senoia's historic district. Overall, the project consists of 320 homes; 320 of the homes are located on the northern frontage of Seavy Street and 36 on the southern frontage. The City of Senoia approved the preliminary plat for Keg Creek Landing along with a development agreement that outlines the entitlements of the project on February 5, 2018.

The Reserve  
at Keg Creek Landing

The Reserve



The Reserve is the single-family portion of the development. It is the section located to the north and west of the traffic circle. The development agreement initially set the number of single-family homes in The Reserve at 214. The agreement was amended by the City on March 4, 2019 decreasing the number of single-family homes in The Reserve to 134.

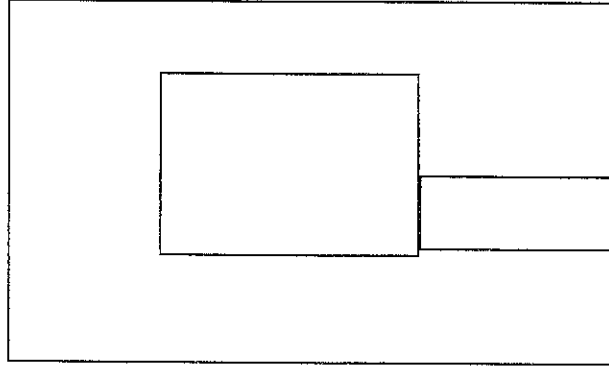
This pattern book was developed, in accordance with the Guidelines for New Construction within the Historic District and the Keg Creek Landing Development Agreement. The purpose is to establish the criteria, approved by the Senoia Historic Preservation Commission for the architecture of the homes in The Reserve at Keg Creek Landing. The concept is to build homes with clean, simple lines, soft colors and lots of curb appeal.

The Reserve  
at Keg Creek Landing

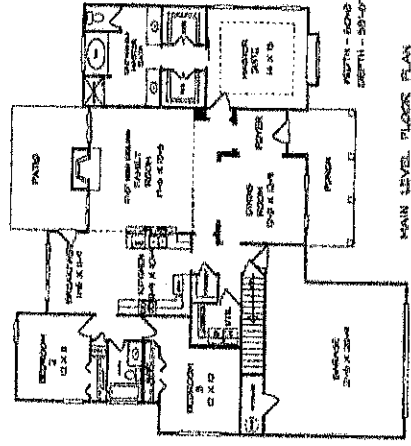
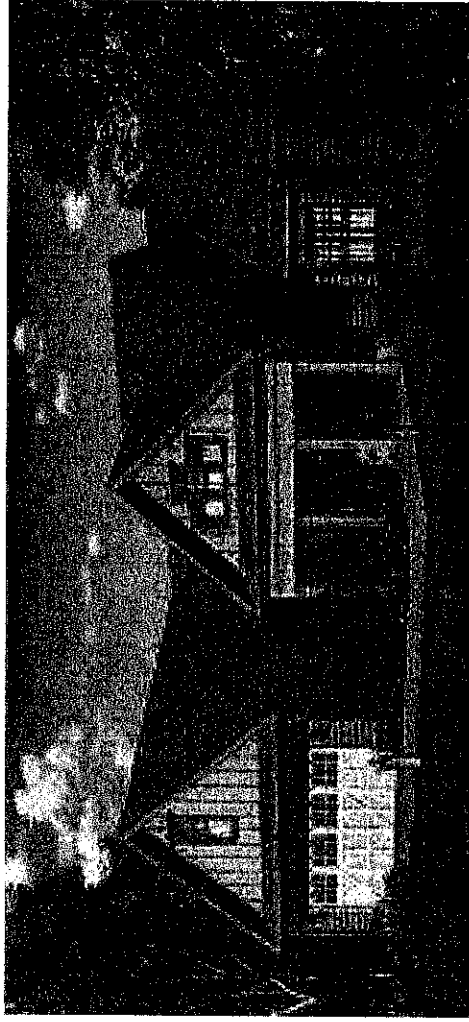
**Massing and Building Footprint**

The typical lot size in the Reserve are 80'X136'. By zoning the minimum home size is 2000 square feet. By zoning there is a minimum of 20 feet between houses. By the Development Agreement, the homes in the Reserve will either be slab on grade, basement, or elevated slabs.

Typical Lot w/ House Location

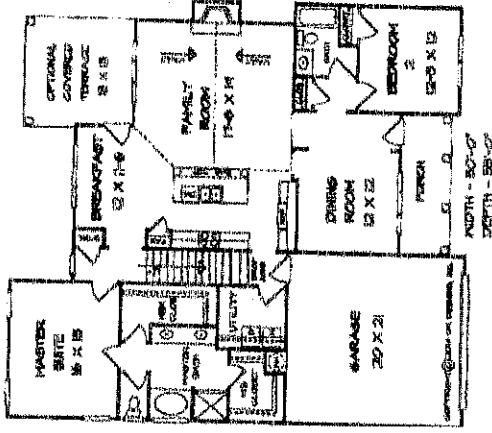


Concept 1

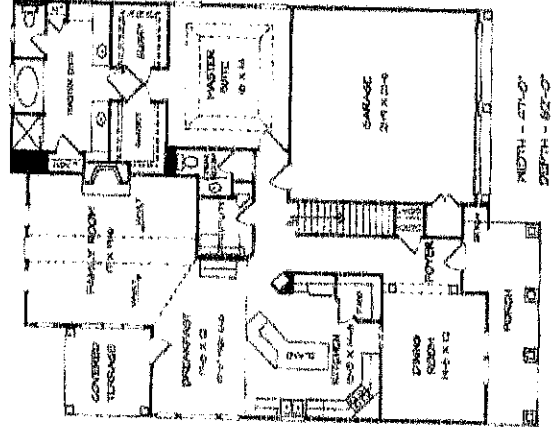
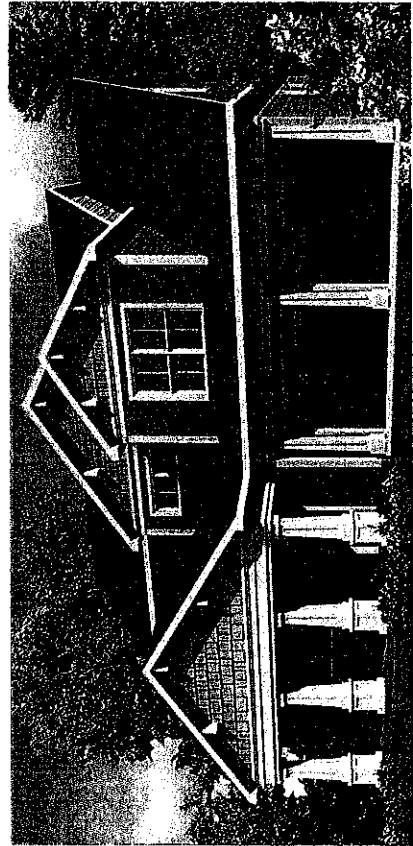


The Reserve  
at Keg Creek Landing

Concept 2

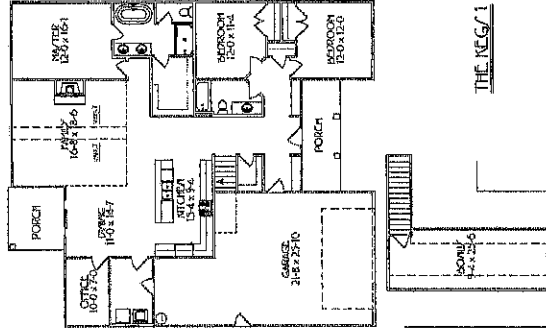
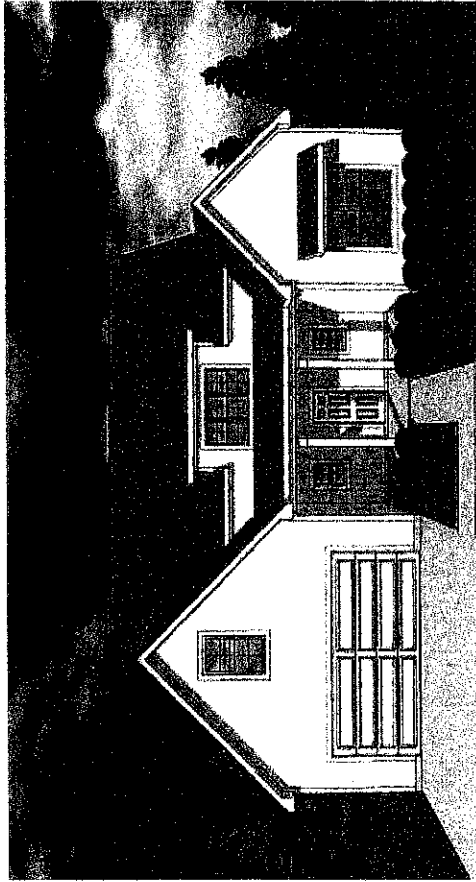


Concept 3

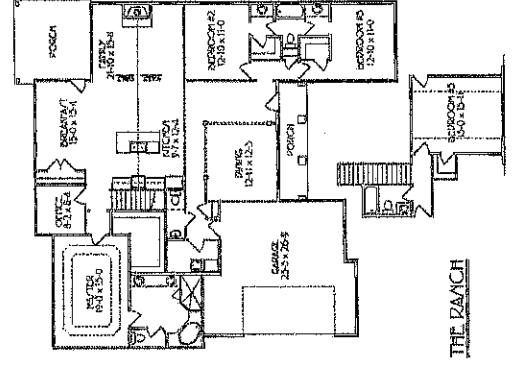
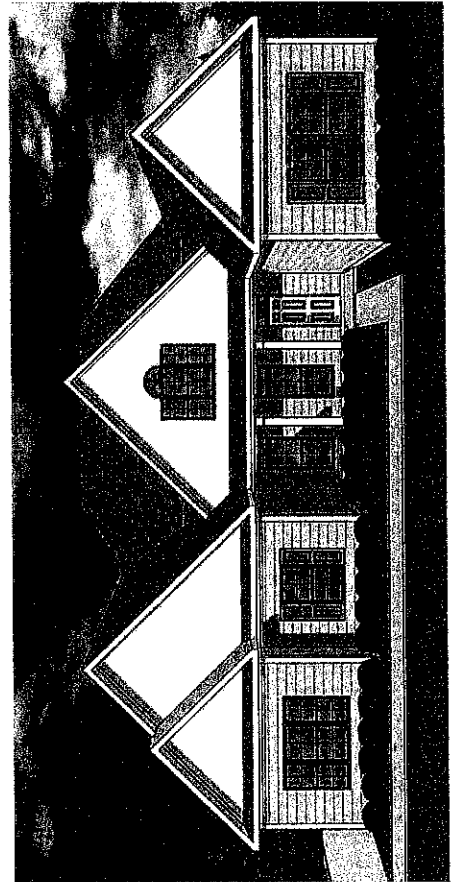


The Reserve  
at Keg Creek Landing

Concept 4



Concept 5

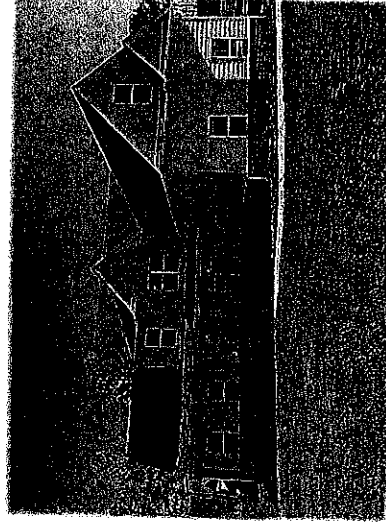
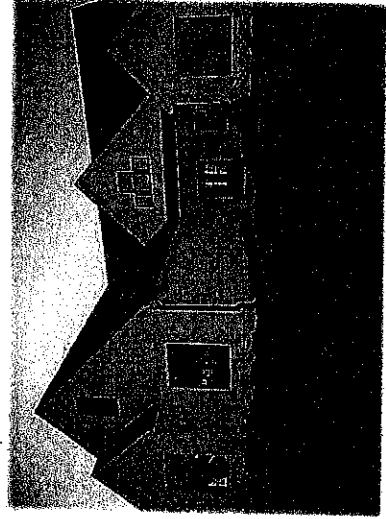




The Reserve  
at Keg Creek Landing

**Directional Expression**

The majority of homes in Senoia's Historic District have a front porch and are built close to the street. A successful front porch is a social space, an outdoor room, a place where residents can converse with neighbors walking by. To accomplish this, porches need to be within a "conversational distance" from the sidewalk (between 15-20 feet). In accordance with zoning codes the front setback for the Reserve is 25 feet. To keep with the tradition of the homes in the Historic District, homes in the Reserve will generally be built with a front porch.



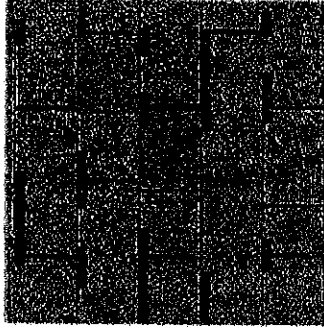
The Reserve  
at Keg Creek Landing

**Roofs**

The common roof forms in Senoia's Historic District are gabled, complex gabled, and hipped. The Reserve at Keg Creek Landing will use gabled and complex gabled roofs. The roofs will be standing seam metal or 3-tab asphalt shingle. It will be appropriate to use the standing seam roof as an accent on a secondary roof. The primary roof will have a historically accurate pitch of 8/12 where the accent and shed roofs will have less and differing pitches. Exposed returns will be shingled or standing seam metal



Gable roof with differing pitch on the shed roof above porch



3-tab asphalt shingles

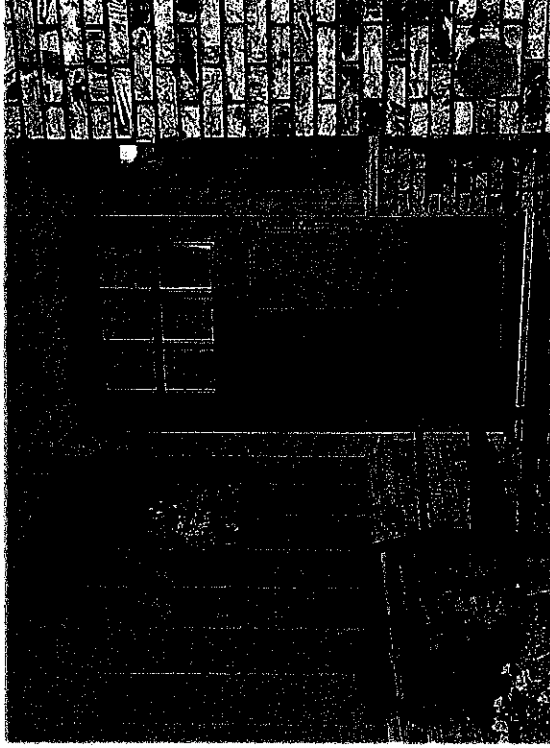
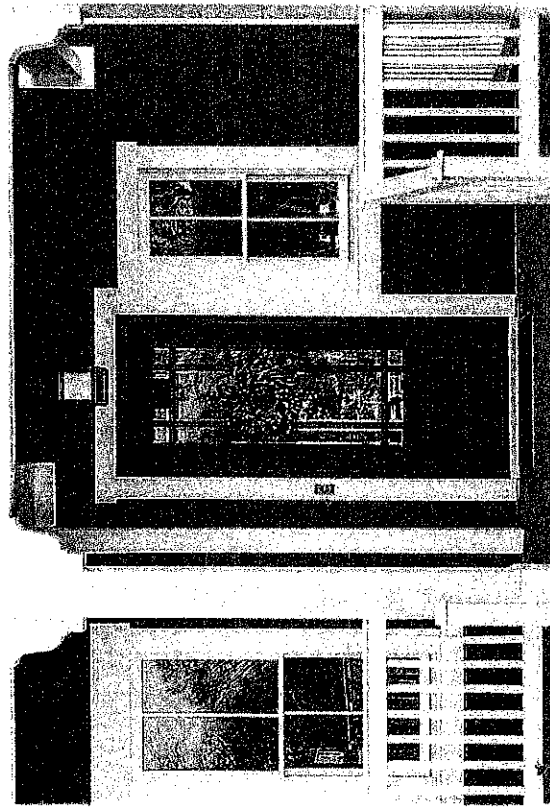


Standing seam metal roof

The Reserve  
at Keg Creek Landing

## Exterior Doors and Primary Entrance Ways

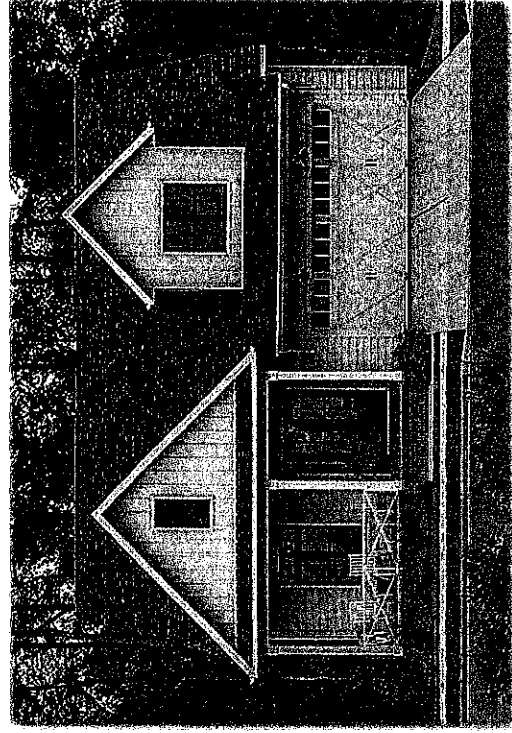
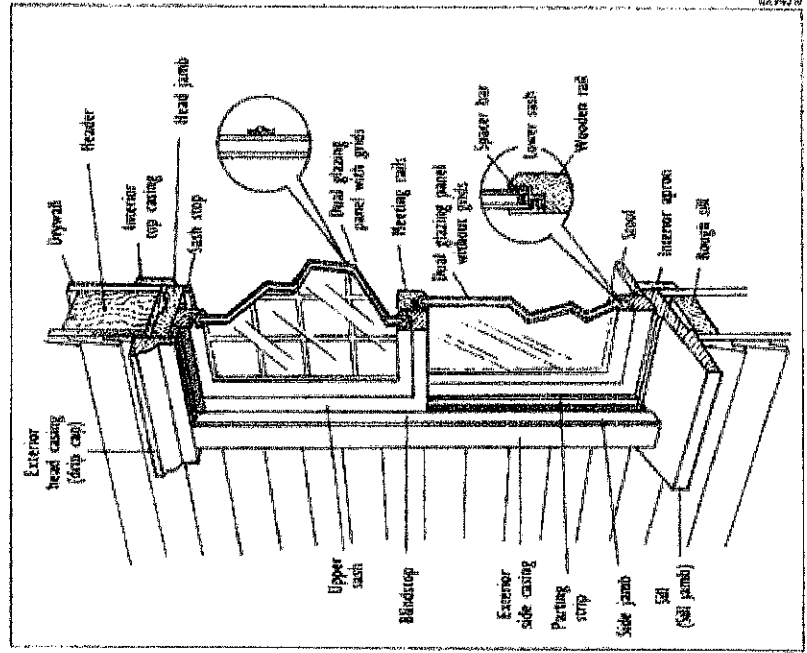
The doors in the Senoia Historic District tend to be single rectangular doors or rectangular with transoms. To meet the expectations of the residents, it is essential that all entry doors, primary or otherwise, are a minimum 3'0" and do not require a step up. The doors in the Reserve at Keg Creek Landing will meet this requirement and be a standard 6'8" high. Doors with windows and transoms are appropriate. The door shall be of wood or fiberglass, metal doors or doors with sidelights are not appropriate. It is appropriate that entrance doors are either solid or have windows.



The Reserve  
at Keg Creek Landing

## Windows

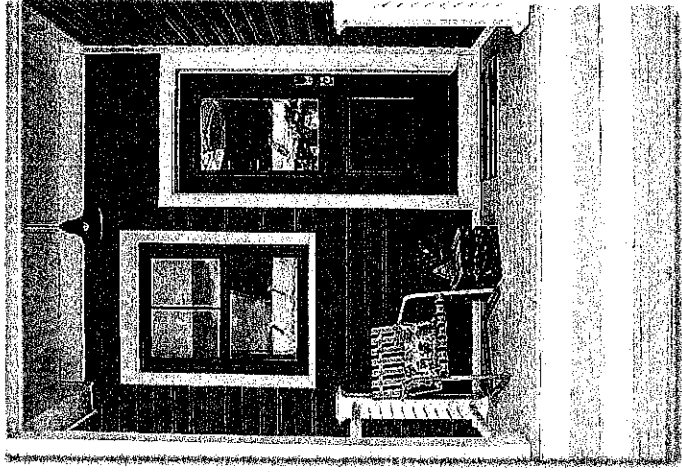
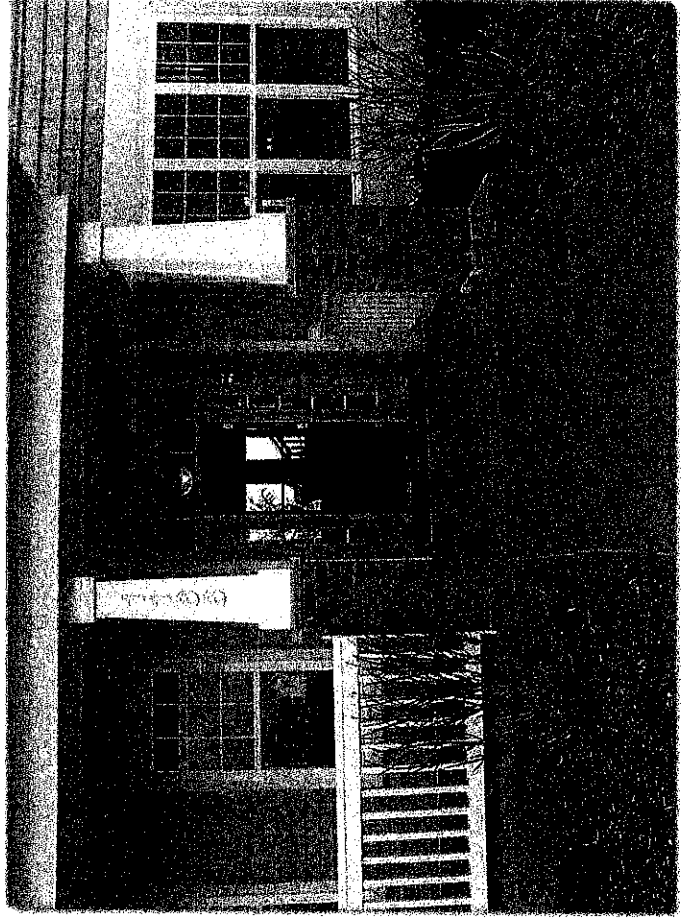
Most windows in the Senoia Historic District are double-hung with divided light. The windows in the Reserve will be either true divided light or simulated divided light with minimum 2 inch exterior casing. Windows can be solid PVC or wood with exterior cladding of vinyl or aluminum. Windows with divided light will vary based on construction. Shutters will be installed on functional hinges with shutter dogs. Fiberglass and wood shutters will be appropriate.



The Reserve  
at Keg Creek Landing

**Porches**

The porch is a middle ground between private space inside and public space on the sidewalk. In the Reserve at Keg Creek, the porches will either be at grade, raised slab or basement depending on the location and the topography of the lot. Columns and gable brackets will be “chunky” not thin, demonstrating superb craftsmanship. Though railings are not required by code unless over 30 inches high, they will be an acceptable feature on the porches. Many of the front porches will have an open rafter ceiling painted white or sky blue with metal roofing on top. The porches shall be wide enough for use by the residents, typically they will have a width of 5 feet.



The Reserve  
at Keg Creek Landing

## Architectural Details

- Corner Boards shall be a minimum of 4 inches wide.
- Cornice returns can be opened or closed and topped in a low pitch metal;
- Garage doors shall be carriage house style with hinges and pulls.
- Aluminum or Vinyl eaves and soffits are appropriate.



Carriage Style Garage Doors

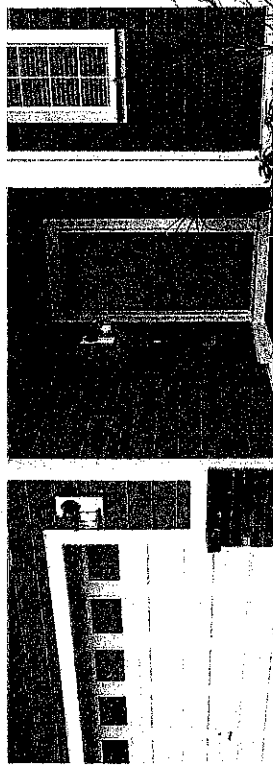


Corner Board

The Reserve  
at Keg Creek Landing

**Siding**

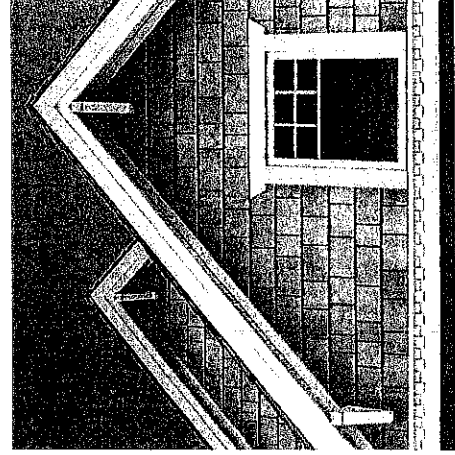
Horizontal lap siding, board and batten, and shake shingles of wood and cement fiber are appropriate siding in the Reserve at Keg Creek Landing. Horizontal lap siding shall have a 4½ to 6-inch reveal. Irregular brick or stone are also appropriate. Materials and treatments may be combined if appropriate and in accordance with the architecture. Treatments shall be painted in colors from a historic pallet such as Benjamin Moore or Sherwin Williams. Vinyl and aluminum siding are not appropriate.



Horizontal Lap Siding



Board and Batten Siding



Shake Shingle Siding

Historical Preservation Commission  
Application for Certificate of  
Appropriateness



City of Senolia  
P.O. Box 310  
Senolia, GA 30276  
(770) 599-3679

Name of Applicant: Key Creek Landings LLC Date: 8-26-2020

Applicant's Mailing Address: 270 N. Jeff Davis Dr

Applicant's Telephone Number: 678-251-5046 Fax Number: —

Property Address: Key Creek Landings

Tax Parcel I.D. #: NA Year Original Structure was Built: NEW

Proposed Material Change to the exterior of the structure: construct pool house

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(specify: Commercial or Residential)

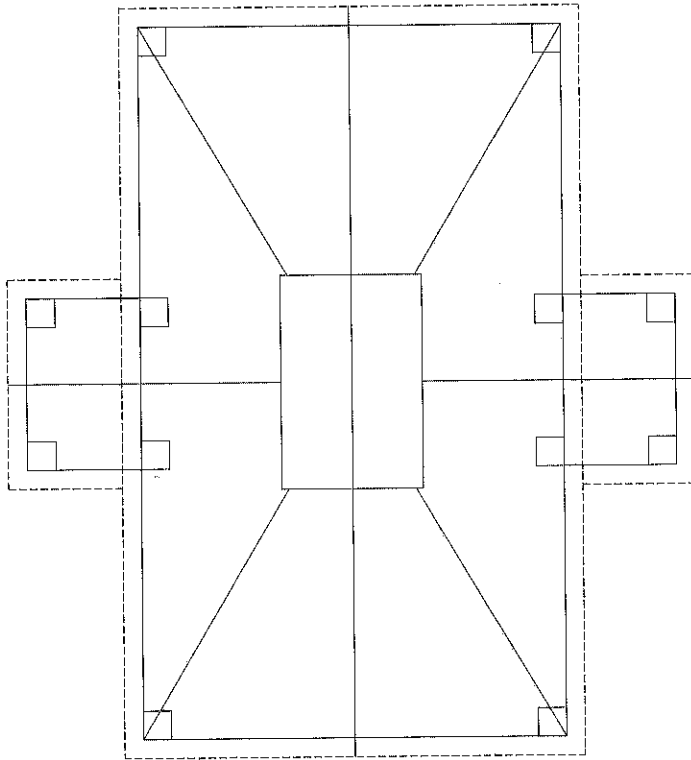
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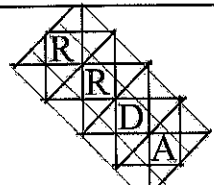




ROOF PLAN  
1/4" = 1'-0"

A New Community Gazebo for  
KEG CREEK LANDING

KEG CREEK LANDING  
SENOIA, GA 30276



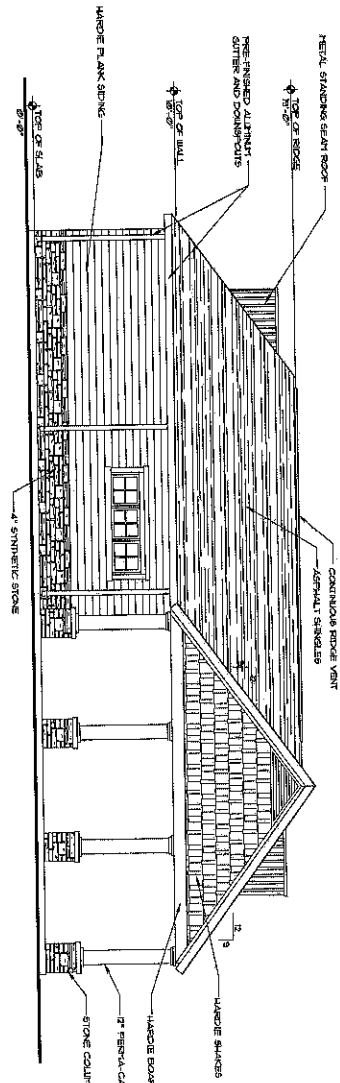
ROSE & SHED DESIGN ASSOCIATES, P.C.  
200 BOWMAN WAY, SUITE 1  
ROCKFORD, ILLINOIS 61101  
PHONE: 815.398.1100  
FAX: 815.398.1101  
WWW.RSDA.COM



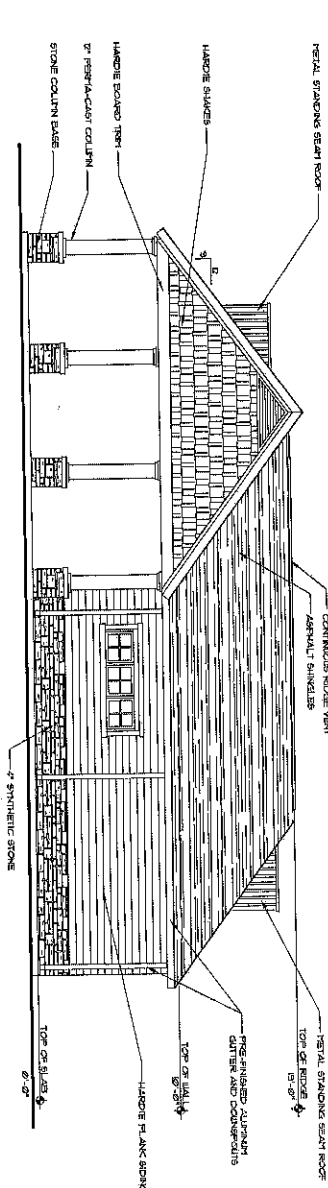
KEG CREEK LANDING  
GAZEBO  
FOR  
KEG CREEK  
LANDING, LLC

ROOF PLAN

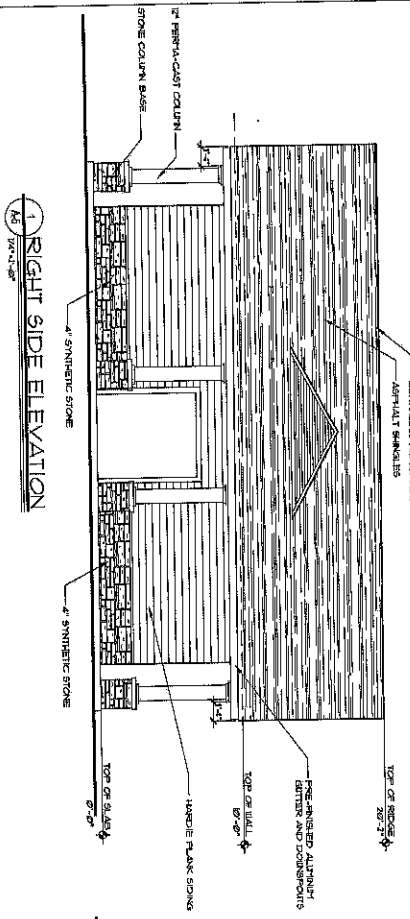
DATE: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
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SHEET NO. **A-3**  
06/26/2010



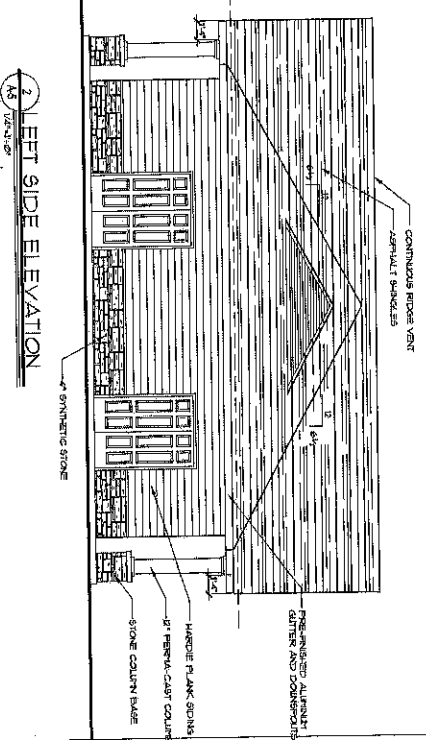
4 REAR ELEVATION  
K5 1/4"=1'-0"



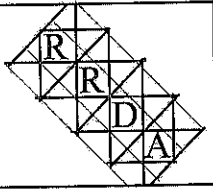
3 FRONT ELEVATION  
K5 1/4"=1'-0"



1 RIGHT SIDE ELEVATION  
K5 1/4"=1'-0"



2 LEFT SIDE ELEVATION  
K5 1/4"=1'-0"



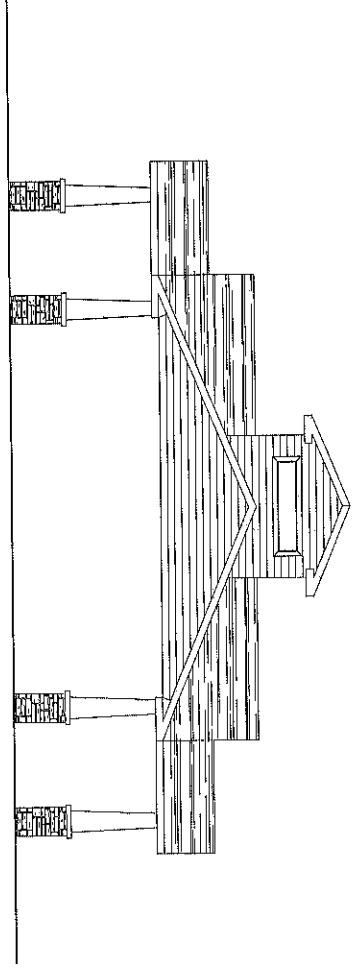
BOSE & REDDENSON ASSOCIATES, P.C.  
200 HENRYWAY NW, SUITE 110  
ROSENDALE, GEORGIA 30082  
PHONE: 770-942-8888  
FAX: 770-942-8888  
WWW.BR&R.COM

A New Community Recreation Center for  
**KEG CREEK LANDING**  
KEG CREEK LANDING  
SENOIA, GA 30276

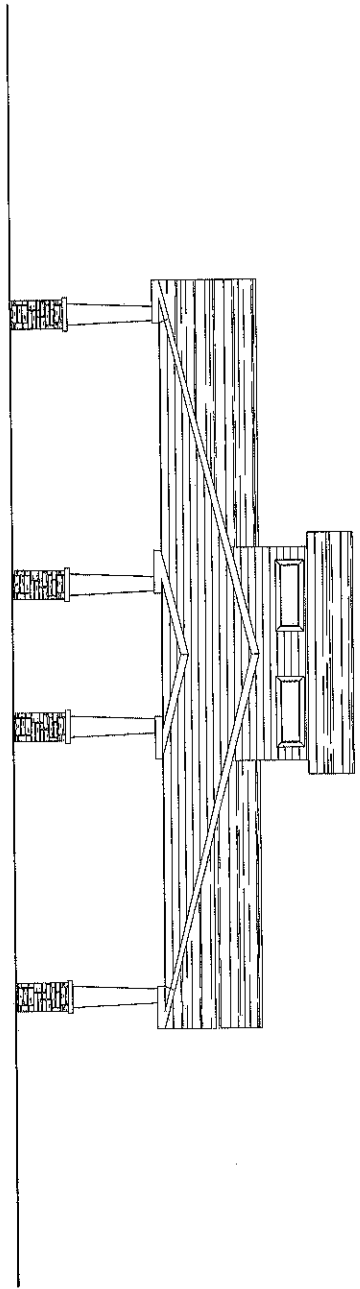


PROJECT: **KEG CREEK LANDING COMMUNITY CENTER for KEG CREEK LANDING, LLC**

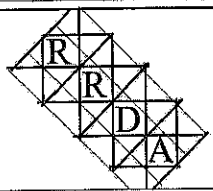
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DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
PROJECT NO: **A-5**  
DRAWING NO: **EXTERIOR ELEVATIONS**  
DATE: \_\_\_\_\_



SHORT SIDE ELEVATION  
1/4" = 1'-0"



LONG SIDE ELEVATION  
1/4" = 1'-0"



RRD ARCHITECTS, INC.  
200 BISHOPWAY, SUITE 200  
ROCKY HILL, CT 06067  
TEL: 860.261.1111  
WWW.RRDARCHITECTS.COM

A New Community Gazebo for  
**KEG CREEK LANDING**  
KEG CREEK LANDING  
SENOIA, GA 30276



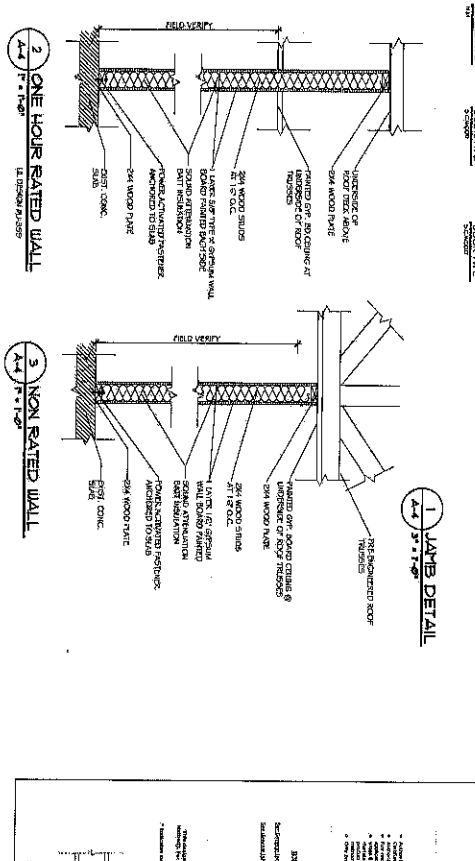
REGISTERED PROFESSIONAL ARCHITECT  
KEG CREEK LANDING  
GAZEBO  
for  
KEG CREEK  
LANDING, LLC

EXTERIOR  
ELEVATIONS

DATE: 08/20/2010  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
SCALE: AS SHOWN  
**A-2**

DOOR SCHEDULE

ROOM /	DOOR	TYPE	SIZE	FINISH	MATERIAL	FRAME	HANG	REMARKS
01	VESTIBULE	CL	3'-0" x 7'-0"	A	1/2" x 6" WOOD	WOOD	1/2" x 6"	WOOD
02	CLUB	CL	3'-0" x 7'-0"	A	1/2" x 6" WOOD	WOOD	1/2" x 6"	WOOD
03	CLUB	CL	3'-0" x 7'-0"	A	1/2" x 6" WOOD	WOOD	1/2" x 6"	WOOD
04	POOL ROOM	CL	3'-0" x 7'-0"	B	1/2" x 6" WOOD	WOOD	1/2" x 6"	WOOD
05	POOL ROOM	CL	3'-0" x 7'-0"	B	1/2" x 6" WOOD	WOOD	1/2" x 6"	WOOD
06	POOL ROOM	CL	3'-0" x 7'-0"	B	1/2" x 6" WOOD	WOOD	1/2" x 6"	WOOD
07	POOL ROOM	CL	3'-0" x 7'-0"	B	1/2" x 6" WOOD	WOOD	1/2" x 6"	WOOD
08	POOL ROOM	CL	3'-0" x 7'-0"	B	1/2" x 6" WOOD	WOOD	1/2" x 6"	WOOD
09	POOL ROOM	CL	3'-0" x 7'-0"	B	1/2" x 6" WOOD	WOOD	1/2" x 6"	WOOD
10	POOL ROOM	CL	3'-0" x 7'-0"	B	1/2" x 6" WOOD	WOOD	1/2" x 6"	WOOD

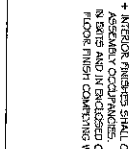


FINISH SCHEDULE

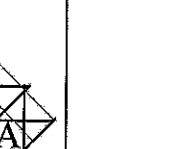
ROOM NO.	ROOM NAME	FLOOR	TYPE	WALLS	CEILING	REMARKS
01	VESTIBULE	WOOD	WOOD	WOOD	WOOD	
02	CLUB	WOOD	WOOD	WOOD	WOOD	
03	CLUB	WOOD	WOOD	WOOD	WOOD	
04	POOL ROOM	WOOD	WOOD	WOOD	WOOD	
05	POOL ROOM	WOOD	WOOD	WOOD	WOOD	
06	POOL ROOM	WOOD	WOOD	WOOD	WOOD	
07	POOL ROOM	WOOD	WOOD	WOOD	WOOD	
08	POOL ROOM	WOOD	WOOD	WOOD	WOOD	
09	POOL ROOM	WOOD	WOOD	WOOD	WOOD	
10	POOL ROOM	WOOD	WOOD	WOOD	WOOD	

FINISH INFORMATION GENERAL NOTES:

+ THE GENERAL CONTRACTOR SHALL PROTECT OR FINISH SURFACES DAMAGED BY SUBSEQUENT WORK  
 + THE GENERAL CONTRACTOR SHALL FINISH ALL SURFACES TO BE FINISHED UNDER THIS CONTRACT AND SET THAT THE WORK OF OTHER TRADES HAS BEEN INSTALLED IN ACCORDANCE WITH THE CONTRACT AND SET THAT THE THE APPLICATION OF THE FINISH COAT OF ANY FINISH PROCESS SHALL CONSTITUTE ACCEPTANCE OF THE SURFACE TO OBSERVE DRAINAGE TRANSITION, DRAINAGE, AND DRAINAGE. MATERIALS ARE TO BE INSTALLED AND BEYOND THE ORIGINAL MANUFACTURED JANTS. CONTRACTOR WILL BE RESPONSIBLE FOR REPAIRING AND SPRING SURFACES. THE SITE SHALL BE PROTECTED FROM DAMAGE BY MOISTURE, WIND, SUN, ACIDIC OR ANY OTHER HARMFUL EFFECT.  
 + GENERAL CONTRACTOR TO SUBMIT ALL FINISHES SPECIFIED WITHIN THE DRAWINGS TO DESIGNER FOR APPROVAL PRIOR TO FIELD APPLICATION, I.E. PAINT, LACQUER, PLASTIC LAMINATE, SHIP FINISH WOOD FOR CUSTOM MATERIALS, ETC.  
 + BOSE MATERIAL SHALL BE INSTALLED FLUSH TO FLOOR SURFACE UNLESS OTHERWISE NOTED.  
 + CONTRACTOR SHALL LEAVE REMAINING PAINT UNPAINTED 1 GALLON OF EACH COLOR WITH OWNER FOR FUTURE TOUCH-UP NEEDS.  
 + UPON COMPLETION OF ALL FINISH APPLICATIONS, ALL MATERIALS AND EQUIPMENT SHALL BE REMOVED. CONTRACTOR SHALL CLEAN UP AND REMOVE ALL DEBRIS AND THAT ALL AREAS ARE LEFT CLEAN AND FREE OF DEBRIS.  
 + INTERIOR FINISHES SHALL COMPLY WITH 2016 IBC, 101, LIFE SAFETY CODE, CHAPTER 12 FOR NEW CONSTRUCTION AND 12.2.2 SHALL BE CLASS A OR CLASS B ASSEMBLY OCCUPANCIES. INTERIOR WALLS AND CEILING FINISHES COMPLYING WITH 12.2.2 SHALL BE CLASS A OR CLASS B FOR FINISH COMPLYING WITH 12.2.1 SHALL BE CLASS 1 OR CLASS 2 IN CORRIDORS AND STAIRS.



DESIGNER: **DESIGNER GROUP**  
 PROJECT: **KEG CREEK LANDING**  
 DATE: **11/15/2017**



RRD ARCHITECTS  
 251 BURNING WOOD DRIVE  
 SUITE 100  
 SENOIA, GA 30276  
 PHONE: 770.333.1111  
 WWW.RRDARCHITECTS.COM

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 KEG CREEK LANDING  
 SENOIA, GA 30276

KEG CREEK LANDING  
 COMMUNITY CENTER  
 for  
 KEG CREEK  
 LANDING, LLC  
 DOOR FINISH  
 SCHEDULE &  
 DETAILS  
**A-4**

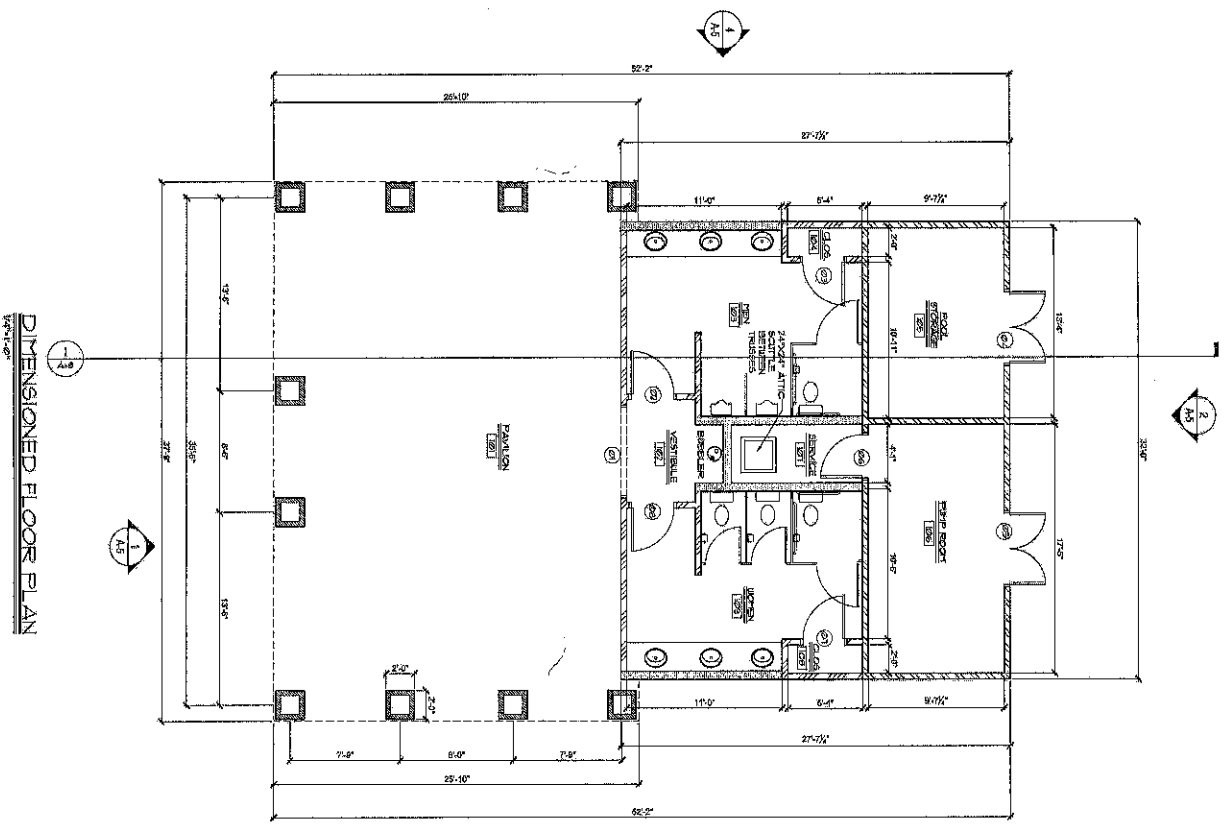
DATE: 11/15/2017

**WALL LEGEND**

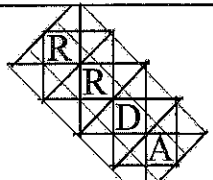
NEW WALL TO BE 2X4 WOOD STUDS @ 16" O.C.  
 TERMINATE WALL AT UNDERSIDE OF ROOF TRUSSES

NEW WALL TO BE 2X4 WOOD STUDS @ 16" O.C.  
 TERMINATE WALL AT UNDERSIDE OF ROOF TRUSSES

NEW ONE HOUR RATED SEPARATION WALL TO BE 2X4 WOOD STUDS @ 16" O.C. COVER BOTH SIDES  
 TERMINATE WALL AT UNDERSIDE OF ROOF DECK



**DIMENSIONED FLOOR PLAN**



ROGERS, REED & ASSOCIATES, INC.  
 220 HARTMAN AVENUE, SUITE 100  
 FLORENCE, SOUTH CAROLINA 29506  
 PHONE: 803-681-4240  
 FAX: 803-681-4241  
 WWW: WWW.RRD&A.COM  
 E-MAIL: RRD@RRD&A.COM

**A New Community Recreation Center for  
 KEG CREEK LANDING**

KEG CREEK LANDING  
 SENOIA, GA 30276



PROJECT:  
 KEG CREEK LANDING  
 COMMUNITY CENTER  
 FOR  
 KEG CREEK  
 LANDING, LLC

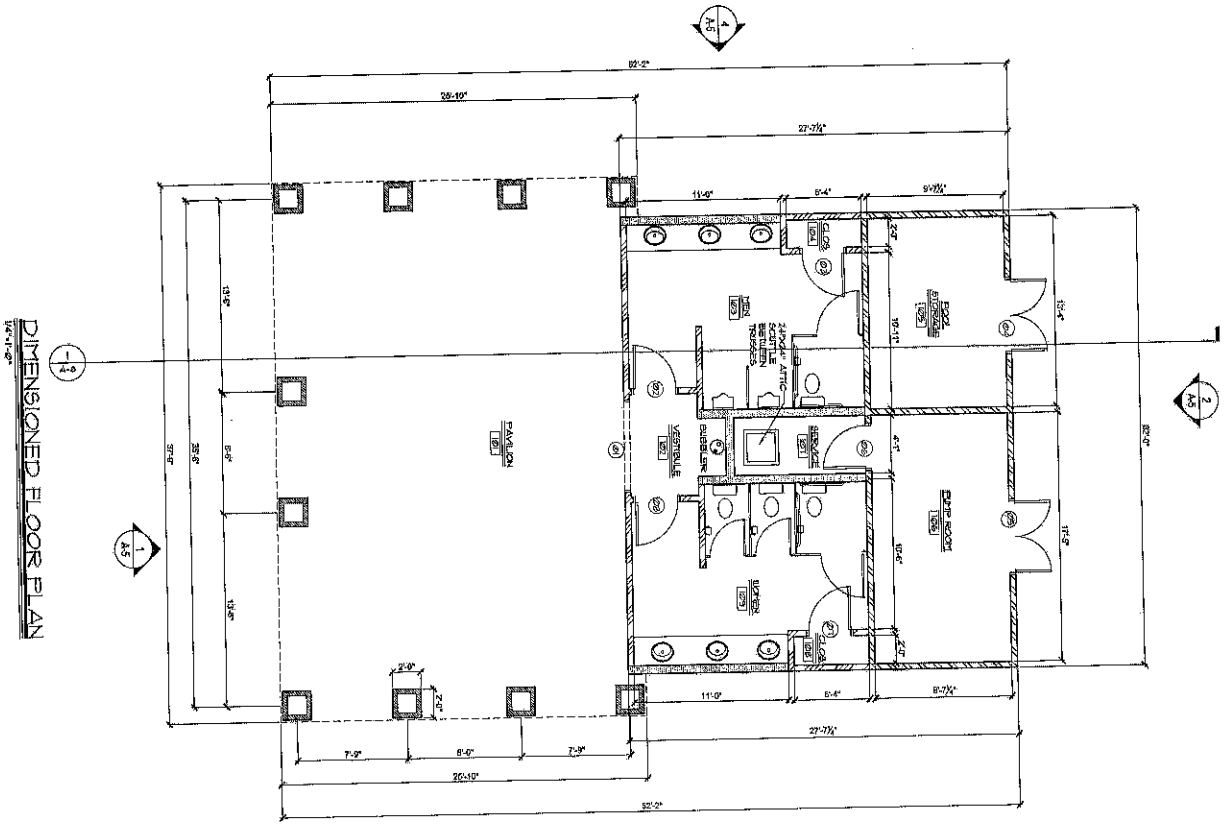
DATE: 08/21/00

**DIMENSIONED  
 FLOOR PLAN**

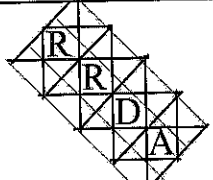
**A-1**

**WALL LEGEND**

	NEW WALL TO BE 2X4 WOOD STUDS @ 16" O.C. - TERMINATE WALL AT UNDERSIDE OF ROOF TRUSSES
	NEW WALL TO BE 2X4 WOOD STUDS @ 16" O.C. - TERMINATE WALL AT UNDERSIDE OF ROOF TRUSSES
	NEW AIR URAN BATTED SEPARATION WALL TO BE WITH 1 LAYER OF 5/8" TYPE "X" GYP BOARD. TERMINATE WALL AT UNDERSIDE OF ROOF DECK



**DIMENSIONED FLOOR PLAN**



**A New Community Recreation Center for  
KEG CREEK LANDING**

KEG CREEK LANDING  
SENOIA, GA 30276



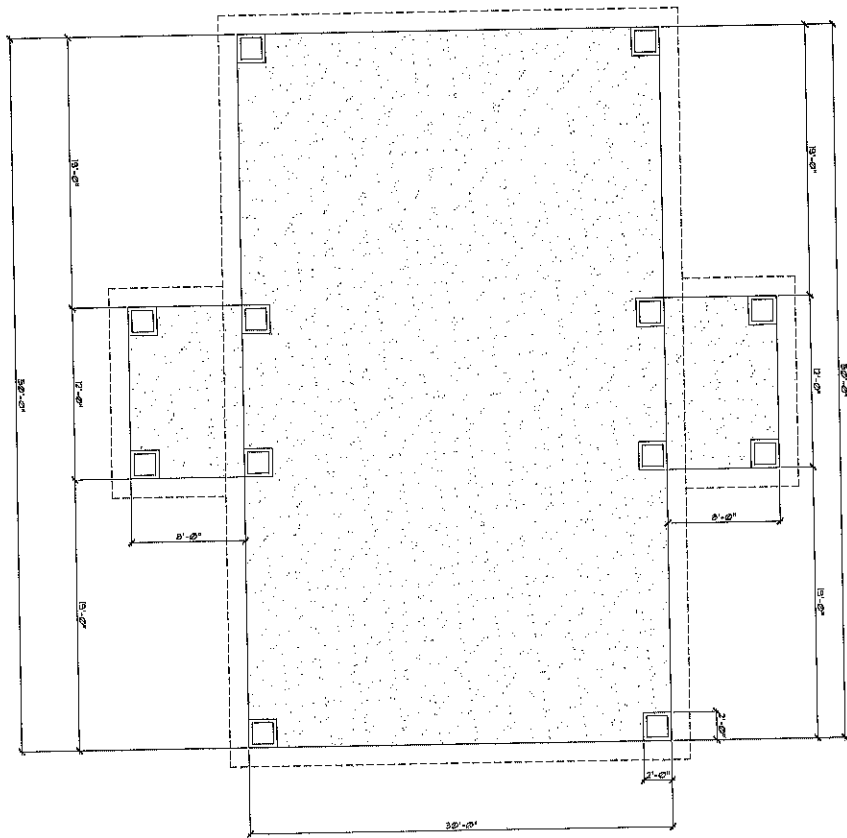
PROJECT BY  
**KEG CREEK LANDING  
COMMUNITY CENTER**  
FOR  
**KEG CREEK  
LANDING, LLC**

DATE: 08/21/2003

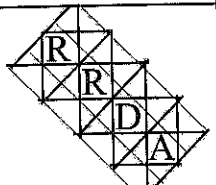
**DIMENSIONED  
FLOOR PLAN**

**A-1**

ROSE & BIRD ARCHITECTS, P.C.  
200 UNIVERSITY AVENUE, SUITE 100  
SENOIA, GA 30276  
PHONE: 770-351-4661  
FAX: 770-351-4662  
EMAIL: RBA@RDARCHITECTS.COM



**DIMENSIONED FLOOR PLAN**



RRB & RSD ARCHITECT ASSOCIATES, P.C.  
 208 BIRCHVALE AVENUE, SUITE 1  
 FORTSMITH, ARKANSAS 72534  
 PHONE: (501) 782-4561  
 FAX: (501) 782-4561  
 WWW.RRBANDRSD.COM

**A New Community Gazebo for  
 KEG CREEK LANDING**

KEG CREEK LANDING  
 SENOIA, GA 30276



PROJECT BY  
**KEG CREEK LANDING  
 GAZEBO**  
 for  
**KEG CREEK  
 LANDING, LLC**

DATE: 11/11/11  
**DIMENSIONED  
 FLOOR PLAN**

**A-1**