



Application for Certificate of Appropriateness

Date Received 4/1/2022 Application No.: _____
Address of Subject Property: 41 Morgan St., Senovia, GA 30276
Applicant: Dale & Stephanie Reeder
E-Mail: GeorgiaReeders@yahoo.com
Applicant Mailing Address: 239 Pylant St., Senovia, GA 30276

Applicant Phone(s): 224-735-9473 / 618 559 8997
Applicant's relationship to the owner: Owner Architect: _____ Contractor/Builder _____
Other _____

Owner(s): Dale & Stephanie Reeder
E-Mail: GeorgiaReeders@yahoo.com
Owner(s) Mailing Address: 239 Pylant St., Senovia, GA 30276

Owner(s) Telephone Number: (224)735-9473

Approximate age or date of construction of the primary structure on the property and any secondary structures affected by this project: 1920

- Nature of work (check all that apply):
New construction Demolition Addition Moving a building Other building changes
New accessory building Landscaping Fence/Wall Other environmental changes
Sign installation or replacement Other

Description of Work:
Complete renovation of existing house, plus addition to south end. Construction of separate garage replacing existing barn.

This form must be completed in its entirety before the Planning Department accepts it. The form must be accompanied by supporting documents (plans, material, color samples, photos, etc.). All documents submitted in hard copy must also be submitted in digital form (.pdf format). All relevant items from the application checklist must be addressed. An application which lacks any of the required attachments shall be determined incomplete and will not be accepted.

Applicant Dale Reeder Date 4/1/22

This checklist was created to help applicants prepare a complete application. Omissions and inaccurate information can lead to deferrals and/or denials of applications. Please review the checklist with the project's architect, designer, or builder. All items will not be applicable to all projects. New construction will involve all categories.

Please address questions regarding applicability to your project to the Senoia Community Development Director 770-599-3679 or drimi@senoia.com

Applicants are also referred to the City of Senoia website, <https://www.senoia.com/documents>

I have reviewed the "Design Guidelines for the City of Senoia" Y/N

I have reviewed applicable zoning codes regarding lot coverage, garage sizes, stream buffers Y/N

1. General

- a. Label all drawings with the address of the site, owners' name, and contact phone number.
- b. Number all drawings.
- c. Include a graphic scale on reductions.
- d. Date all revisions.
- e. Indicate all unverified numbers with +/- signs
- e. Include photos of the existing condition of the property.

2. Site Plan (existing and proposed) to include

- a. Topographical plan with significant trees sized and located;
- b. Setback compared to adjacent houses (ask surveyor to show corners of adjacent houses);
- c. Distance between houses;
- d. Façade width to finished face of material;
- e. Grading and elevations across site;
- f. Dirt removal or regrading if more than 18";
- g. Tree protection plan;
- h. Tree removal and replacement plan

3. Driveways and Walkways

- a. Location and relationship to house;
- b. Width;
- c. Material;
- d. Curb cut and apron width

4. Fences & Retaining Walls

- a. Placement on lot;
- b. Height of fence or wall. If retaining wall, height on both sides;
- c. Material;
- d. Railing if necessary

5. Elevations and Floor Plans <<Indicate all unverified numbers with +/- signs>>

- a. Plans for all floors (drawn to scale, $\frac{1}{4}''=1'$ preferred);
- b. House orientation on site plan;
- c. Scalable elevations for front, rear, left, right;
- d. Height, grade to ridge;
- e. Streetscape comparison showing heights of two flanking houses on each side;
- f. Height from grade to first floor level at all four corners;
- g. Height from grade or finished floor line to eaves at all four corners;
- h. Ceiling heights of each floor, indicating if rough or finished;
- i. Height of space between the ceiling and finished floor above;
- j. Two people of 5'-6" and 6' height shown;
- k. Landscaping plan

6. Additions

- a. Placement shown on elevations and floor plan;
- b. Visibility from rights-of-way and paths;
- c. Photos of all facades;
- d. Design proportioned to main house;
- e. Landscaping plan;
- f. Materials and their combinations

7. Roof Plan

- a. Shape and pitch of roof;
- b. Roofing material;
- c. Overhang;

- d. Louvers and vents;
- e. Chimney height and material

8. Dormers

- a. Construction details provided;
- b. Shape and size of dormer (show dimensions on drawings);
- c. Overhang;
- d. Size of window(s), with nominal size of sash (show dimensions on drawings)

9. Skylights

- a. Profile;
- b. Visibility from right-of-way;
- c. Material (plastic lens or glass);
- d. Shown in plan and elevation to scale

10. Façade

- a. Consistency in style;
- b. Materials and their combinations
 - brick size and color
 - stone type and color
 - fiber-cement (e.g. Hardieplank) or wood siding
 - shake or shingle
 - other
- c. Height of foundation at corners;
- d. Ceiling heights comparable to area of influence: basement, first floor, second floor;
- e. Detailing: soldier course, brackets, fascia board; water table;
- f. Height from grade to roof ridge;
- g. Dimensions, proportions and placement of windows, doors

11. Entrance

- a. Height and width of door;
- b. Design of door (e.g. 6-panel, craftsman);
- c. Material of door;
- d. Overhang;
- e. Portico height;
- f. Size and height of columns or posts;
- g. Railing

12. Windows

- a. Consistent with original as well as the area of influence;
- b. Size and proportion similar to original;
- c. Pane orientation and size similar to original;
- d. Type (e.g. double hung, casement);
- e. Fenestration on walls visible from right-of-way;
- f. Simulated divided light (SDL) or true divided light (TDL): location of muntins between the glass, behind the glass or permanently affixed on exterior;
- g. Material of window and any cladding;
- h. Width of muntins compared to original (show dimensions on drawings);
- i. Shutters or canopies
- j. Dimensions of windows and doors.

13. Materials

- a. Show all materials and label them on drawings;
- b. Provide samples of brick or stone;
- c. Provide samples if new or unusual materials

14. Garages / Accessory Buildings

- a. Visibility from street;
- b. Placement on site;
- c. Scale, style appropriate for house;
- d. Show dimensions on drawings;

- e. Materials;
- f. Square footage appropriate for lot size;
- g. Garage door size and design
- h. Show height from grade to eaves and to top of roof

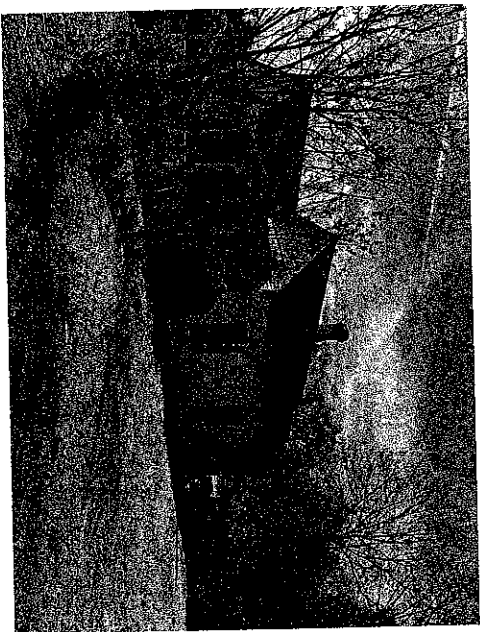
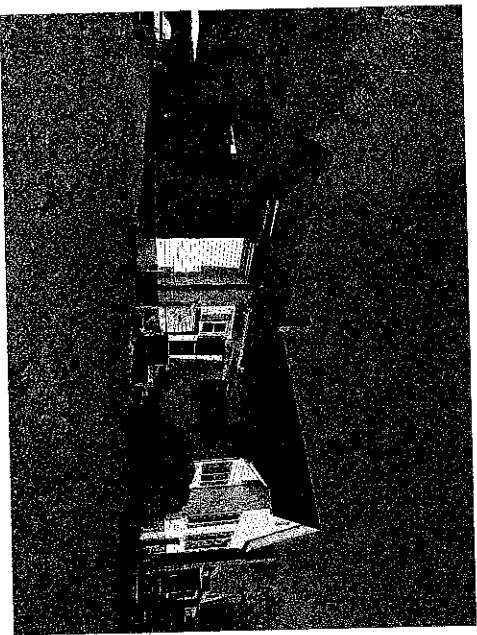
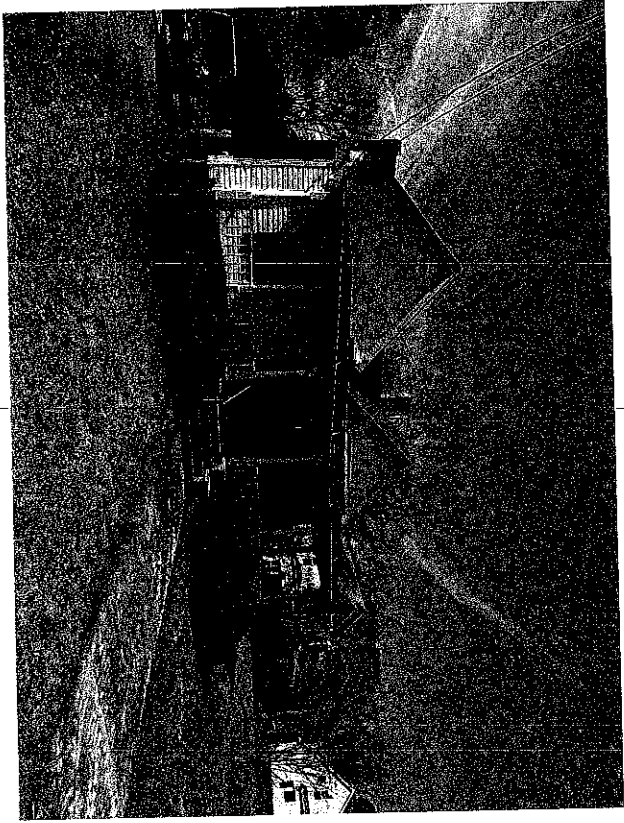
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4/1/22

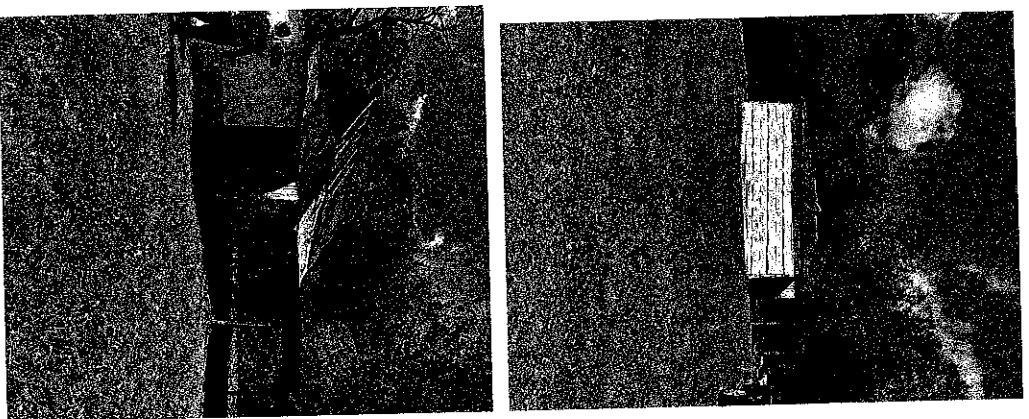
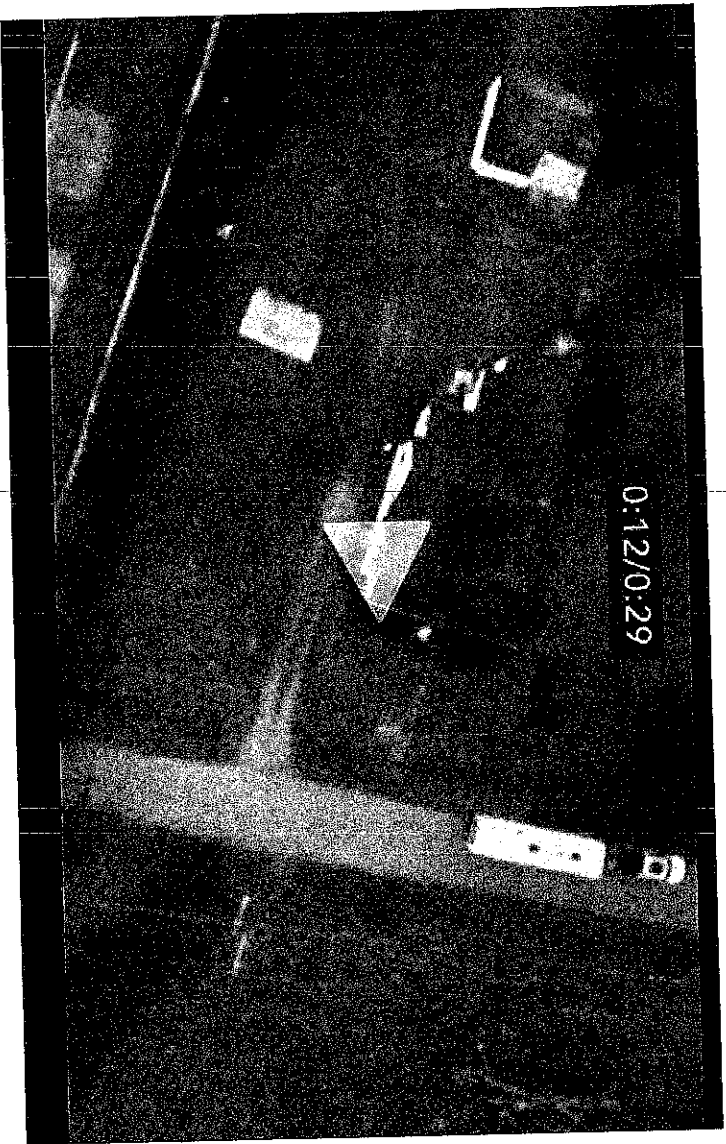
Applicant Signature

Date

41 Morgan Street



41 Morgan Street



A RENOVATION-ADDITION TO THE REEDER RESIDENCE SENOIA, GEORGIA

**AIKIN &
ASSOCIATES, INC.**
RESIDENTIAL DESIGN & PLANNING
Shirleyburn, Georgia
770-500-7344
www.aikindesign.com

GENERAL NOTES

1. The contractor shall be responsible for field verifying all dimensions and conditions of the existing structure. The contractor is to notify the designer of all discrepancies and questions and obtain written clarification prior to proceeding with the work.
2. Do not scale drawings. Dimension system.
3. Contractor will be responsible for reading and following manufacturer's specifications for all equipment, materials, and construction systems.
4. All adverse conditions of site and building discovered during work must be reported to owner in writing.
5. Contractor is responsible for obtaining any additional structural, structural, electrical, mechanical, plumbing, or other information in these drawings, as may be required to detail a building permit for the structure.
6. "Typical" means the referenced detail shall apply for all similar conditions unless otherwise noted.
7. Aikin & Associates, Inc. is not responsible for any fees associated with the permitting of these drawings with any federal, state or local municipality.
8. Aikin & Associates, Inc. is not responsible for any soil testing, sub-surface investigations, or other geotechnical, environmental, or other surveys or any other fees associated with the permitting of these drawings.

PROJECT DATA

I. Applicable Building Codes:

INTERNATIONAL BUILDING CODE 2018 EDITION WITH GEORGIA STATE AMENDMENTS
INTERNATIONAL RESIDENTIAL CODE 2018 EDITION WITH GEORGIA STATE AMENDMENTS
INTERNATIONAL PLUMBING CODE 2018 EDITION WITH GEORGIA STATE AMENDMENTS
INTERNATIONAL MECHANICAL CODE 2018 EDITION WITH GEORGIA STATE AMENDMENTS
INTERNATIONAL FIRE CODE 2018 EDITION WITH GEORGIA STATE AMENDMENTS
INTERNATIONAL ELECTRICAL CODE 2017 EDITION WITH GEORGIA AMENDMENTS
INTERNATIONAL BARRIER CONSERVATION CODE 2015 EDITION WITH GEORGIA STATE AMENDMENTS

PROJECT CONTACTS

General Contractor:

Architectural Design Consultant: Gregg A. Aikin
Aikin & Associates, Inc.
Shirleyburn, GA
770-500-7344

ISSUE DATES

FOR CONSTRUCTION 3-1-2022

II. Occupancy Classification

A. Building Classification: Single Family Residential

III. Building Data:

Structural Interior walls -Wood
Non-Structural Interior Walls -Wood
2,642 Sq. Ft. Renovation and Addition

IV. Type of Construction: Type VB

DRAWING INDEX

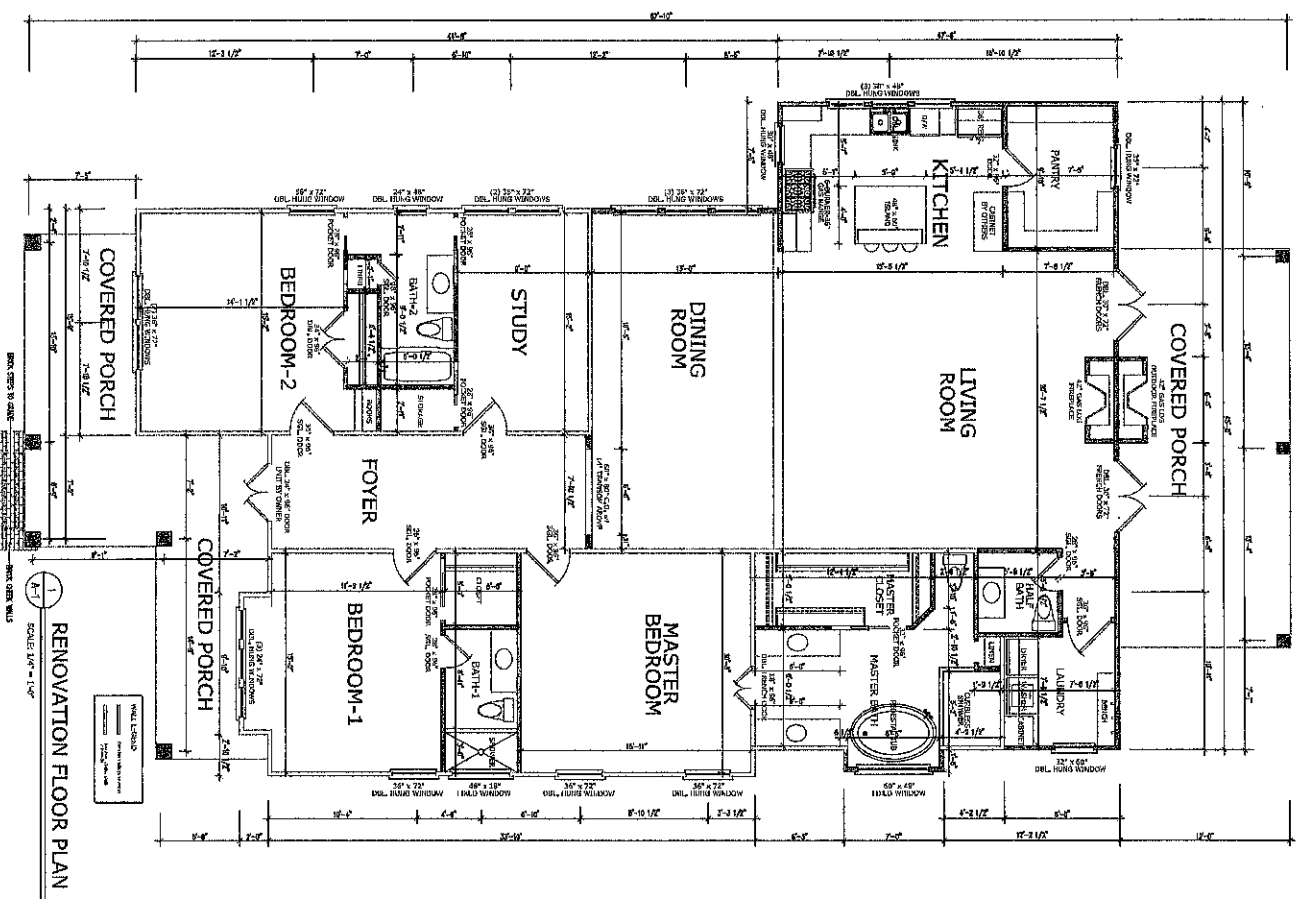
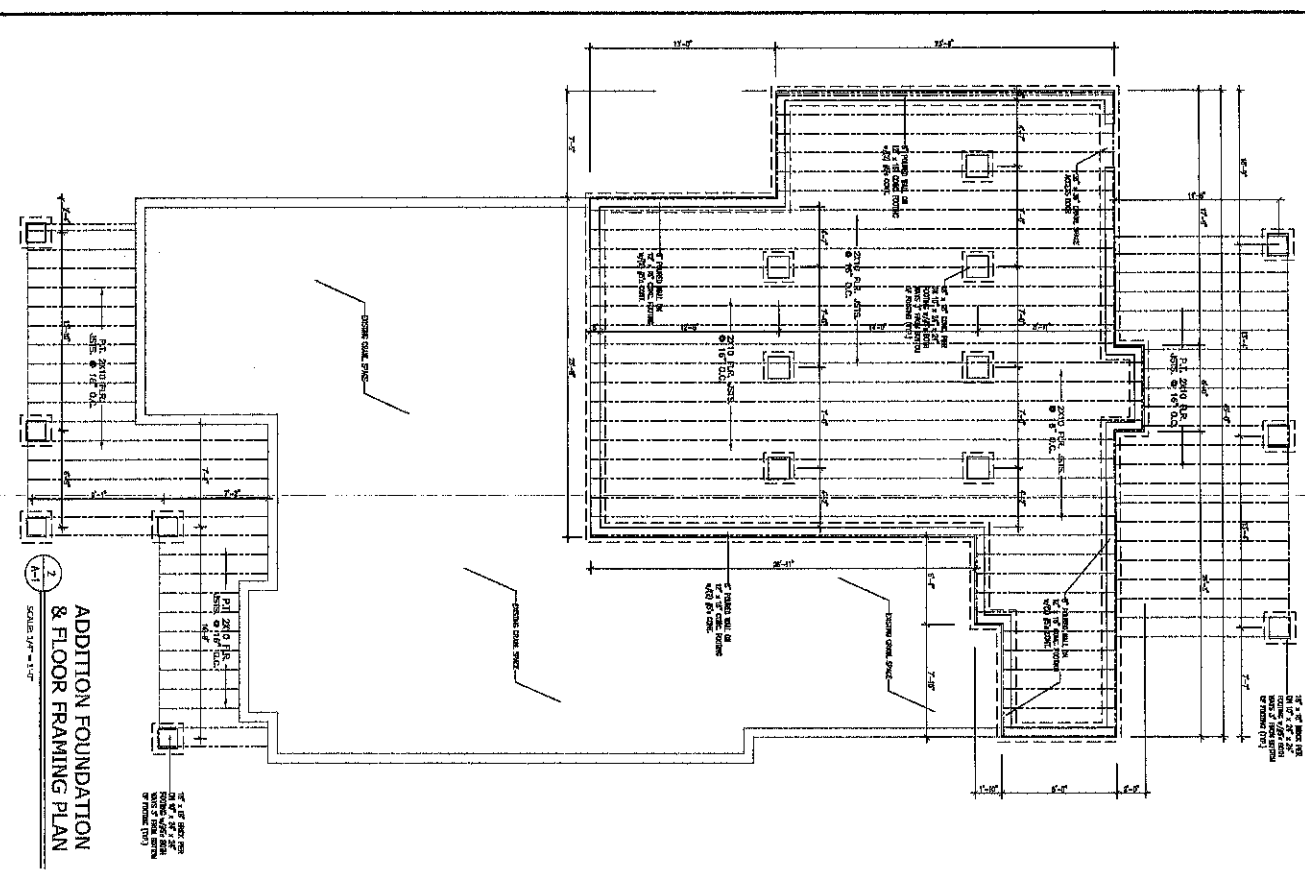
Cover Sheet

A-1 Addition Floor Plan & Foundation Plan

A-2 Exterior Elevations

A-3 Building Sections

A-4 General Notes & Electrical Plan



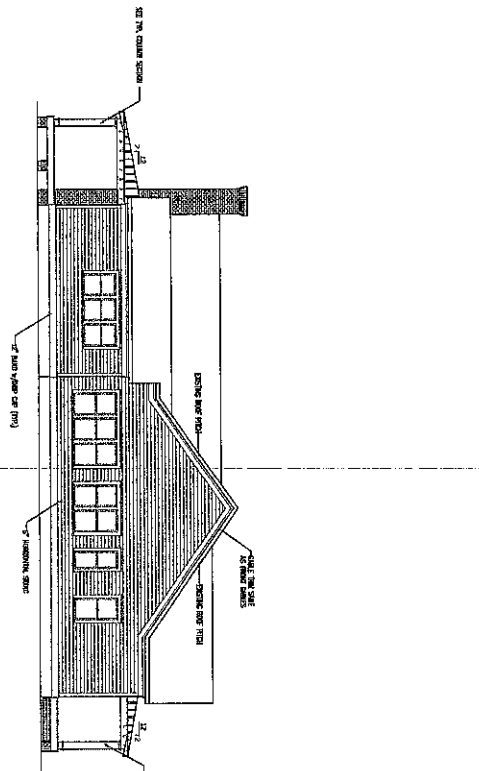
A RENOVATION-ADDITION TO THE REEDER RESIDENCE
SENOIA, GEORGIA

AIKIN & ASSOCIATES, INC.
ARCHITECTS

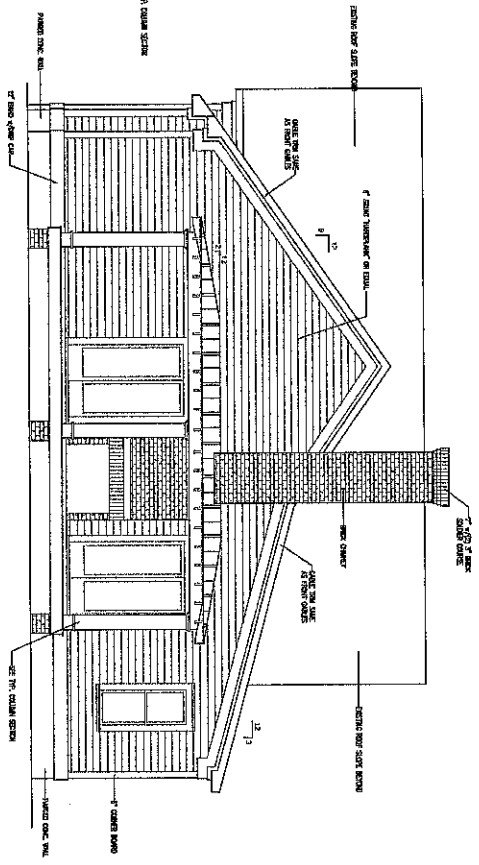
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 PROJECT: _____
 PART NO: _____

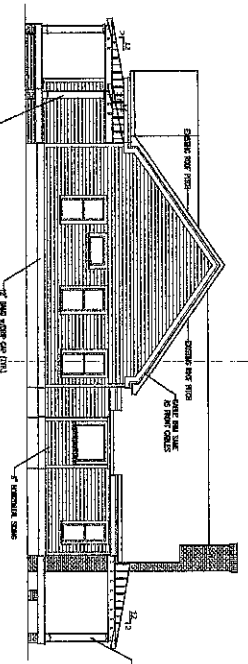
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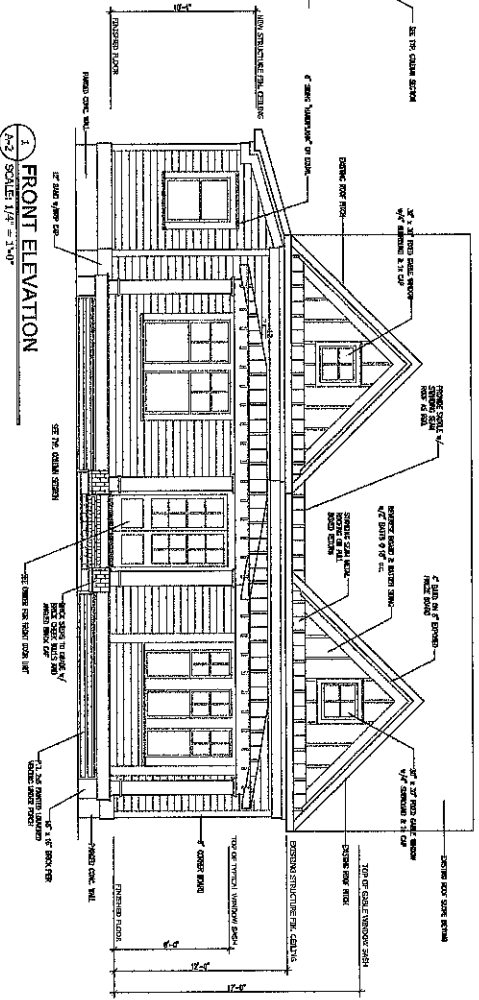
4 LEFT ELEVATION
SCALE: 1/8" = 1'-0"



2 REAR ELEVATION
SCALE: 1/8" = 1'-0"



3 RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



1 FRONT ELEVATION
SCALE: 1/8" = 1'-0"

AIKIN & ASSOCIATES, INC.
ARCHITECTURAL DESIGN & PLANNING
1000 Peachtree Street, N.E.
Atlanta, Georgia 30309
Phone: (404) 525-1100
Fax: (404) 525-1101
www.aikin.com

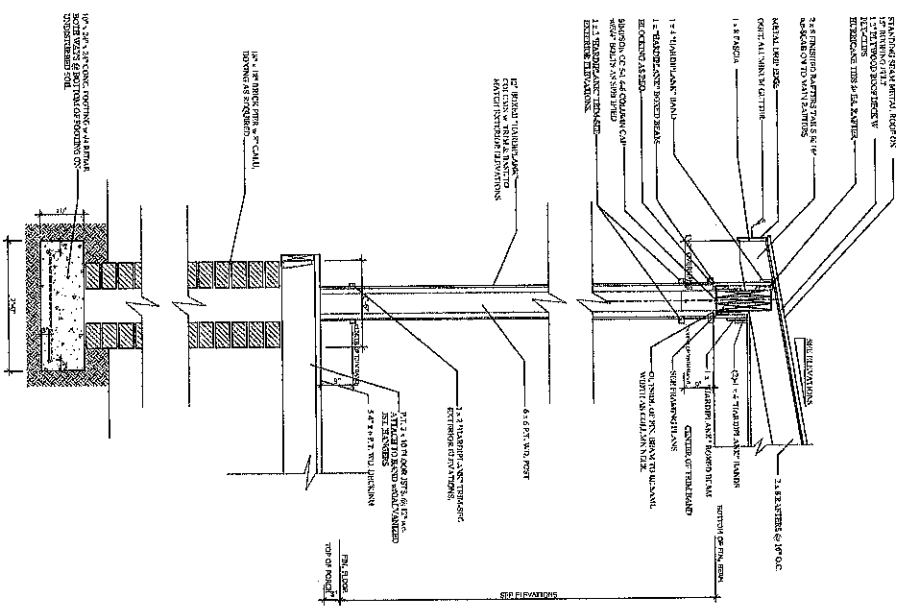
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REEDER RESIDENCE
SENOIA, GEORGIA

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PROJECT _____
PLANNING NO. _____

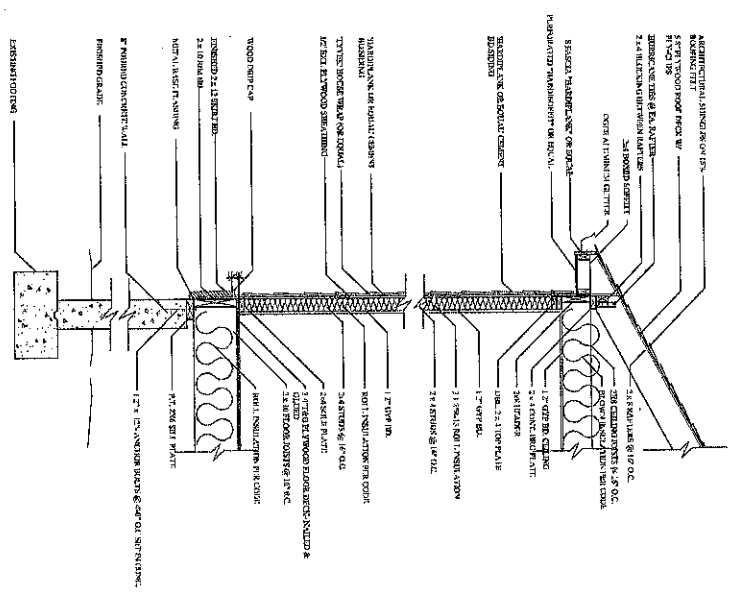
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 SENOIA, GEORGIA

NO.	REVISION	DATE

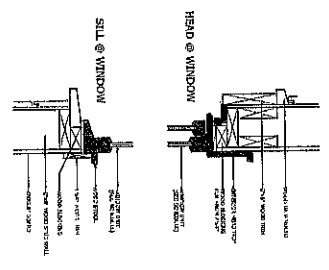
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 PLAN NO. _____



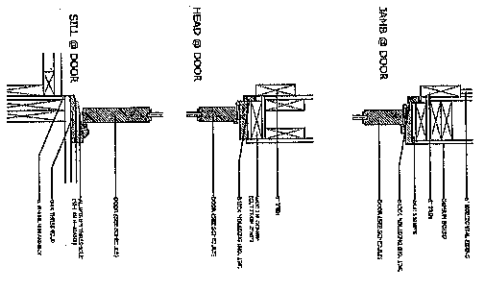
1. TYPICAL PORCH SECTION
 A-3 SCALE: 3/4" = 1'-0"



2. TYPICAL WALL SECTION
 A-3 SCALE: 3/4" = 1'-0"



4. TYPICAL WINDOW SECTION
 A-3 SCALE: 1-1/2" = 1'-0"



3. TYPICAL OUTSWING DOOR
 A-3 SCALE: 1-1/2" = 1'-0"

TIMBER NOTES

- (See notes 1 & 2 below)
- 1. All framing (except solid joist) for exterior walls, floor joists, 14" x 14" or equal members, other than wood on masonry and steel joists, shall be made of kiln-dried wood as shown on drawings.
- 2. All framing shall be made of kiln-dried wood as shown on drawings.
- 3. All framing shall be made of kiln-dried wood as shown on drawings.

2018 International Building Code (IBC) - National Amendments
 Ground Snow Load: 30 psf
 Wind Speed: 115 mph (Exposure B)
 Seismic Design Category: Moderate
 Sloped to Change Front: 1:12
 Other Design Temp: 40 F
 Floor Finishes: No
 Floor Joists: No
 AP Permitting District: 10
 Main Material Take: 0222-F

FRAMING NOTES

1. All exterior walls and ceilings shall conform with the National Building Code of Georgia, 2018 International Building Code (IBC) with the following amendments:
 1.1.1. All exterior walls shall be constructed of masonry or concrete of not less than 8" nominal thickness.
 1.1.2. All exterior walls shall be constructed of masonry or concrete of not less than 8" nominal thickness.
 1.1.3. All exterior walls shall be constructed of masonry or concrete of not less than 8" nominal thickness.
 1.1.4. All exterior walls shall be constructed of masonry or concrete of not less than 8" nominal thickness.

2. All exterior walls shall be constructed of masonry or concrete of not less than 8" nominal thickness.
 3. All exterior walls shall be constructed of masonry or concrete of not less than 8" nominal thickness.
 4. All exterior walls shall be constructed of masonry or concrete of not less than 8" nominal thickness.
 5. All exterior walls shall be constructed of masonry or concrete of not less than 8" nominal thickness.

CONCRETE NOTES

1. Use concrete for ground level slabs on grade, 12" thick, unless otherwise noted. Minimum concrete strength shall be 3000 psi (compressive strength) at 28 days.
 2. All concrete shall be placed and finished in accordance with the following:
 a. All concrete shall be placed and finished in accordance with the following.
 b. All concrete shall be placed and finished in accordance with the following.

3. All concrete shall be placed and finished in accordance with the following.
 4. All concrete shall be placed and finished in accordance with the following.
 5. All concrete shall be placed and finished in accordance with the following.

GENERAL NOTES

1. All work shall be done in accordance with the following:
 2. All work shall be done in accordance with the following.
 3. All work shall be done in accordance with the following.

APPLICABLE BUILDING CODES:

- 1. 2018 International Building Code (IBC) - National Amendments
- 2. Georgia State Building Code (GSBC) - 2015
- 3. Georgia State Building Code (GSBC) - 2015
- 4. Georgia State Building Code (GSBC) - 2015
- 5. Georgia State Building Code (GSBC) - 2015

FOUNDATION NOTES

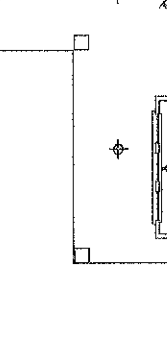
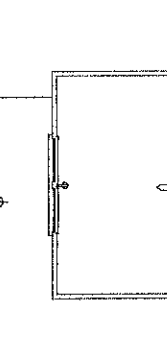
1. All foundation walls shall be constructed of masonry or concrete of not less than 8" nominal thickness.
 2. All foundation walls shall be constructed of masonry or concrete of not less than 8" nominal thickness.
 3. All foundation walls shall be constructed of masonry or concrete of not less than 8" nominal thickness.

ENGINEERS NOTES

- 1. PROJECT: REEDER RESIDENCE RENOVATION & ADDITION
- 2. CLIENT: A. J. REEDER
- 3. PROJECT LOCATION: 1234 MAIN STREET, SENOIA, GA 30151
- 4. PROJECT NO.: 2022-001
- 5. SHEET NO.: A-4

6. DATE: 02/22/2022
 7. DRAWN BY: [Name]
 8. CHECKED BY: [Name]
 9. APPROVED BY: [Name]

10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING:
 11. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING.
 12. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING.



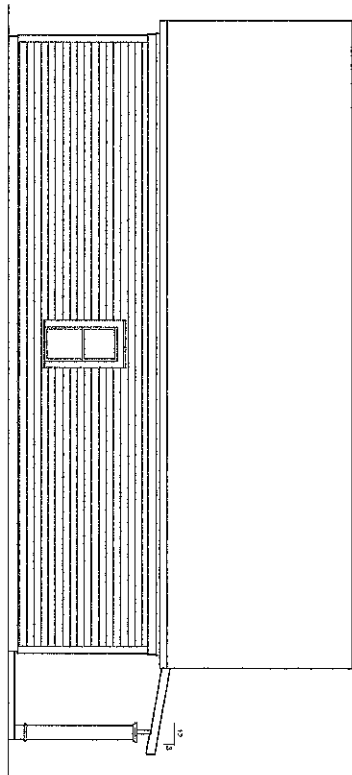
NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	02/22/2022
2	ISSUED FOR CONSTRUCTION	02/22/2022
3	ISSUED FOR OCCUPANCY	02/22/2022

A RENOVATION-ADDITION TO THE REEDER RESIDENCE
 SENOIA, GEORGIA

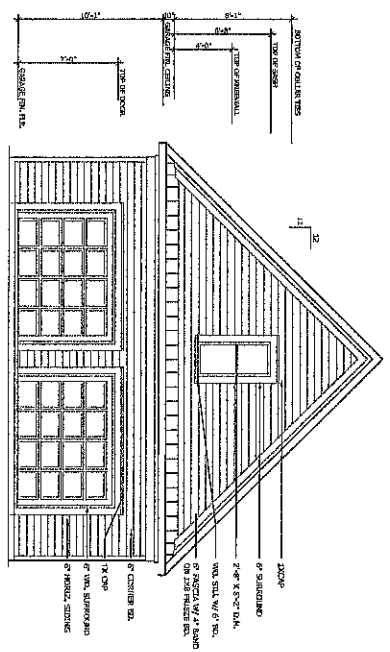
AIKIN & ASSOCIATES, INC.
 ARCHITECTS
 1234 MAIN STREET, SENOIA, GA 30151
 (770) 335-1234
 www.aikin.com

DRAWN BY: [Name]
 PROJECT: [Name]
 SHEET NO.: A-4

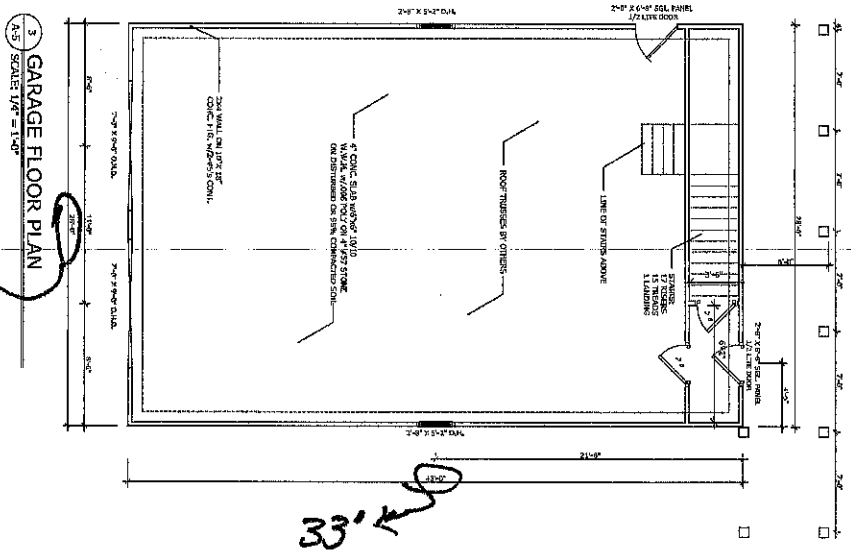
Note: Dimensions have changed to comply with ordinance.



2 TYPICAL GARAGE SIDE ELEVATION
SCALE: 1/4" = 1'-0"



1 GARAGE FRONT ELEVATION
SCALE: 1/4" = 1'-0"



3 GARAGE FLOOR PLAN
SCALE: 1/4" = 1'-0"

26'

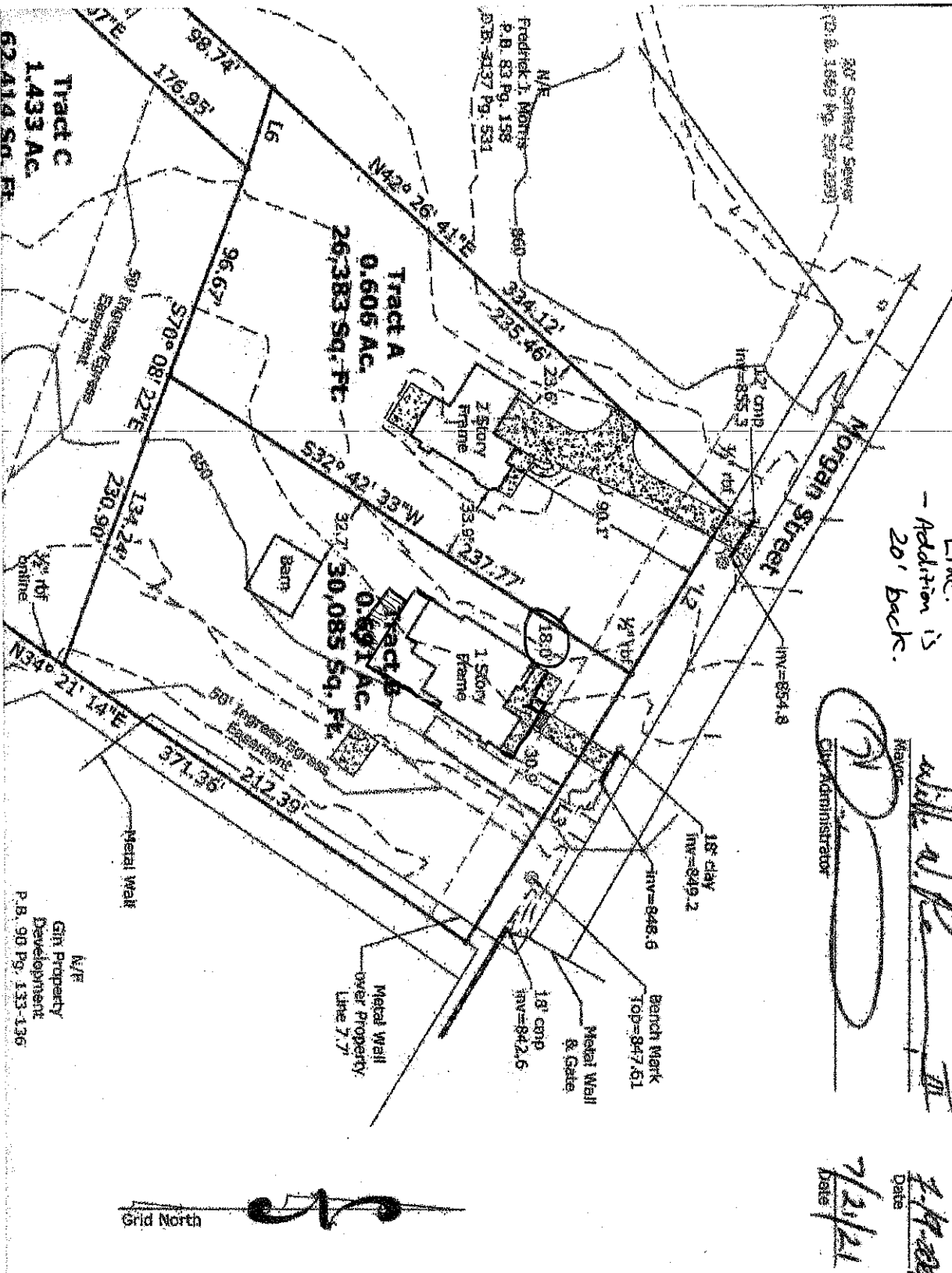
33'

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1000 Peachtree Street, N.E.
Atlanta, Georgia 30309
Phone: 404.525.1111
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NO.	DESCRIPTION	DATE

DRAWN BY: _____
PROJECT: _____
DATE: _____
A-4



Note:
 - House sits back
 18' from West
 Line.
 - Addition is
 20' back.

This plat complies with the zoning regulations, the Land Development Ordinance and all other regulations governing the land development for Senola.

N/A
 City Engineer
W. H. ...
 Mayor
...
 City Administrator

7/19/2011
 Date
7/21/21
 Date



W/Deed Book	Page:
88	272
3366	344
83	158

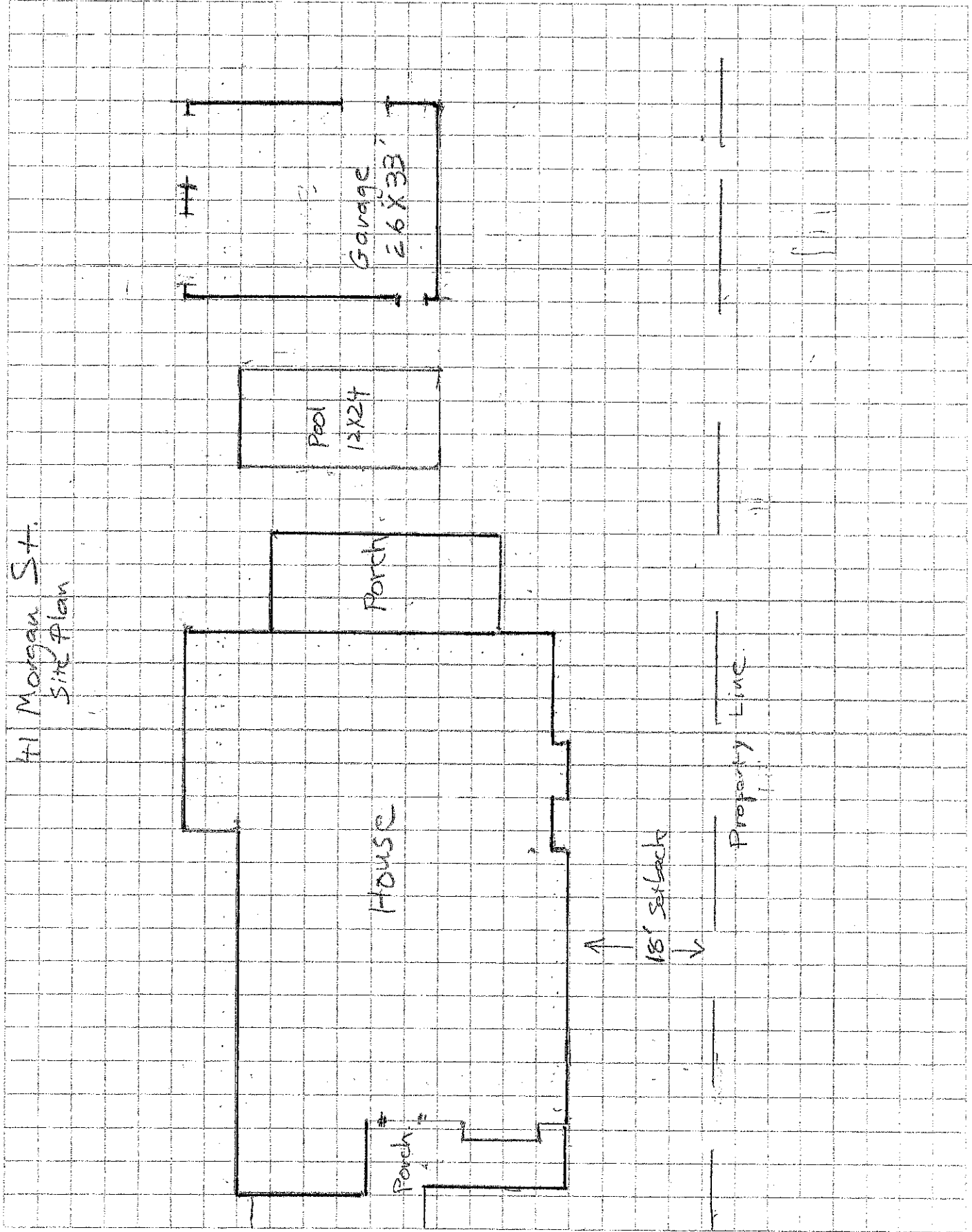


FOUR CORNERS SURVEYING

P.O. BOX 15 Tyrone, GA 30290 770-560-3910 & 770-823-9377
 FOUR_CORNERS@BELLSOUTH.NET

3/30/22

41 Morgan St.
Site Plan



Morgan St.

Scale 1/16" = 1'