



Application for Certificate of Appropriateness

Date Received 6/4/2023 Application No.:
Address of Subject Property: 284 Bridge Street, Senovia, GA
Applicant: Jacob Grady
E-Mail: jgrady@stcom.us
Applicant Mailing Address: 284 Bridge Street, Senovia, GA

Applicant Phone(s): 678-378-3423
Applicant's relationship to the owner: Owner X Architect: Contractor/Builder
Other

Owner(s): Jacob Grady, Jenna Grady
E-Mail: jgrady@stcom.us
Owner(s) Mailing Address: 284 Bridge Street, Senovia, GA

Owner(s) Telephone Number: 678.378.3423

Approximate age or date of construction of the primary structure on the property and any secondary structures affected by this project: 1985

Nature of work (check all that apply):
New construction [ ] Demolition [X] Addition [ ] Moving a building [X] Other building changes [X]
New accessory building [ ] Landscaping [X] Fence/Wall [ ] Other environmental changes [ ]
Sign installation or replacement [ ] Other [ ]

Description of Work:
Exterior upgrades/enhancements to current house/main structure.
- Front Porch: Demo & replace steps, porch posts, railing, and horizontal lap siding.
- Demo porch structure at right (North) side elevation. New entry stoop to be added at level 1 entry.
- Demo sunroom walls & aluminum windows at left (South) side of house/left elevation. Convert to original exterior porch.
- Demo all exterior windows and replace with double hung windows.
- Replace front door.
- Demo & replace roof. Install new dimensional shingles. Replace fascia trim as necessary.
- Rehabilitate and upgrade landscaping.
- Remove two portable storage buildings at rear of property.
- Storage building at rear of property to be repainted.

This form must be completed in its entirety before the Planning Department accepts it. The form must be accompanied by supporting documents (plans, material, color samples, photos, etc.). All documents submitted in hard copy must also be submitted in digital form (.pdf format). All relevant items from the application checklist must be addressed. An application which lacks any of the required attachments shall be determined incomplete and will not be accepted.

Applicant [Signature] Date 6/28/2023

This checklist was created to help applicants prepare a complete application. Omissions and inaccurate information can lead to deferrals and/or denials of applications. Please review the checklist with the project's architect, designer, or builder. All items will not be applicable to all projects. New construction will involve all categories.

Please address questions regarding applicability to your project to the Assistant City Manager, Jeff Fisher at 770-599-3679 or [jfisher@senoia.com](mailto:jfisher@senoia.com). Applicants are also referred to the City of Senoia website, <https://www.senoia.com/documents>. Please bring completed application to Sharon Casey at city hall or if you would like, you may email it to her at [scasey@senoia.com](mailto:scasey@senoia.com). Her direct number is 770-328-3275.

I have reviewed the "Design Guidelines for the City of Senoia"  Y  N

I have reviewed applicable zoning codes regarding lot coverage, garage sizes, stream buffer.  Y  N

### 1. General

- a. Label all drawings with the address of the site, owners' name, and contact phone number.
- b. Number all drawings.
- c. Include a graphic scale on reductions.
- d. Date all revisions.
- e. Indicate all unverified numbers with +/- signs
- e. Include photos of the existing condition of the property.

### 2. Site Plan (existing and proposed) to include

- a. Topographical plan with significant trees sized and located;
- b. Setback compared to adjacent houses (ask surveyor to show corners of adjacent houses);
- c. Distance between houses;
- d. Façade width to finished face of material;
- e. Grading and elevations across site;
- f. Dirt removal or regrading if more than 18";
- g. Tree protection plan;
- h. Tree removal and replacement plan

### 3. Driveways and Walkways

- a. Location and relationship to house;
- b. Width;
- c. Material;

d. Curb cut and apron width

#### 4. Fences & Retaining Walls

a. Placement on lot;

b. Height of fence or wall. If retaining wall, height on both sides;

c. Material;

d. Railing if necessary

#### 5. Elevations and Floor Plans <<Indicate all unverified numbers with +/- signs>>

a. Plans for all floors (drawn to scale, 1/4"=1' preferred);

b. House orientation on site plan;

c. Scalable elevations for front, rear, left, right;

d. Height, grade to ridge;

e. Streetscape comparison showing heights of two flanking houses on each side;

f. Height from grade to first floor level at all four corners;

g. Height from grade or finished floor line to eaves at all four corners;

h. Ceiling heights of each floor, indicating if rough or finished;

i. Height of space between the ceiling and finished floor above;

j. Two people of 5'-6" and 6' height shown;

k. Landscaping plan

#### 6. Additions

a. Placement shown on elevations and floor plan;

b. Visibility from rights-of-way and paths;

c. Photos of all facades;

d. Design proportioned to main house;

e. Landscaping plan;

f. Materials and their combinations

#### 7. Roof Plan

a. Shape and pitch of roof;

b. Roofing material;

- c. Overhang;
- d. Louvers and vents;
- e. Chimney height and material

#### 8. Dormers

- a. Construction details provided;
- b. Shape and size of dormer (show dimensions on drawings);
- c. Overhang;
- d. Size of window(s), with nominal size of sash (show dimensions on drawings)

#### 9. Skylights

- a. Profile;
- b. Visibility from right-of-way;
- c. Material (plastic lens or glass);
- d. Shown in plan and elevation to scale

#### 10. Façade

- a. Consistency in style;
- b. Materials and their combinations
  - brick size and color
  - stone type and color
  - fiber-cement (e.g. Hardieplank) or wood siding
  - shake or shingle
  - other
- c. Height of foundation at corners;
- d. Ceiling heights comparable to area of influence: basement, first floor, second floor;
- e. Detailing: soldier course, brackets, fascia board; water table;
- f. Height from grade to roof ridge;
- g. Dimensions, proportions and placement of windows, doors

## 11. Entrance

- a. Height and width of door;
- b. Design of door (e.g. 6-panel, craftsman);
- c. Material of door;
- d. Overhang;
- e. Portico height;
- f. Size and height of columns or posts;
- g. Railing

## 12. Windows

- a. Consistent with original as well as the area of influence;
- b. Size and proportion similar to original;
- c. Pane orientation and size similar to original;
- d. Type (e.g. double hung, casement);
- e. Fenestration on walls visible from right-of-way;
- f. Simulated divided light (SDL) or true divided light (TDL): location of muntins between the glass, behind the glass or permanently affixed on exterior;
- g. Material of window and any cladding;
- h. Width of muntins compared to original (show dimensions on drawings);
- i. Shutters or canopies
- j. Dimensions of windows and doors.

## 13. Materials

- a. Show all materials and label them on drawings;
- b. Provide samples of brick or stone;
- c. Provide samples if new or unusual materials

14. Garages / Accessory Buildings

- a. Visibility from street;
- b. Placement on site;
- c. Scale, style appropriate for house;
- d. Show dimensions on drawings;
- e. Materials;
- f. Square footage appropriate for lot size;
- g. Garage door size and design
- h. Show height from grade to eaves and to top of roof



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Applicant Signature

6/28/2023

Date



# City of Senovia Simple Structures Selection Form for The Historical Preservation Committee

This form is to be used for submission for approval from the Historical Preservation Committee (HPC) for the City of Senovia, Georgia. This form is for simple structures when the applicant (Homeowner) has no drawings to be attached to their Certificate of Compliance (COA) which is required for all structures New or Additions within the Historic District of Senovia. This information will provide the HPC with a more accurate picture of your intentions as the Homeowner.

A simple structure will be defined for the purpose of this form as a three sided structure that will be attached to an existing residence within the Historic District of Senovia, Georgia. The Structure may be enclosed such as a Sunroom, or open such as a Porch. These simple structures may have a roof or may be an open deck.

More Complex Structures will require submittal of prepared drawings by the Homeowner. A Complex Structure will be defined as one having any one or more of the following: More than Three Sides, Multiple Roof Lines, Angles to the Existing Residence a Free Standing Structure or similar requirements.

On the following sheets please find drawings/descriptions/notes that present examples of Simple Structures. Please select a drawing/description/notes that best represents your intended project. You must indicate the materials as noted within. If the space allowed does not provide enough room for a description of materials or not indicated, please attach notes, drawings, pictures, etc. that will represent your intended addition.

Please note that these drawings are for use by the HPC and are not intended for use as detailed/working drawings for building permits etc.

Address of Residence to be Altered: \_\_\_\_\_

Name of Homeowner/Applicant: \_\_\_\_\_

Signature of Homeowner/Applicant: \_\_\_\_\_

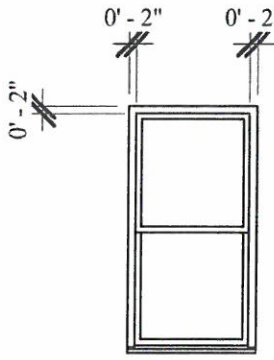
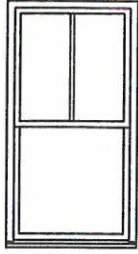
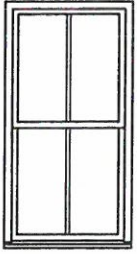
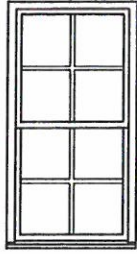
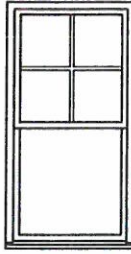
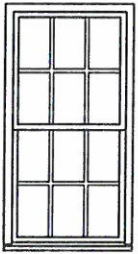
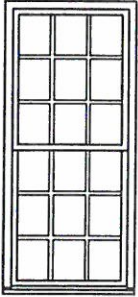
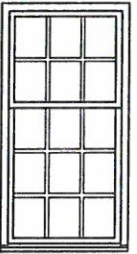
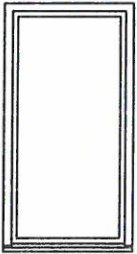
Please Initial Each Sheet Where Indicated

Accepted By HPC: \_\_\_\_\_ Date: \_\_\_\_\_

Signature of Chairperson HPC

# Window Type Selection Sheet

2" Minimum Window  
Trim All Windows

				
1 Over 1	2 Over 1	2 Over 2	4 Over 4	4 Over 1
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
				
6 Over 6	9 Over 9	1/3 Over 2/3	Other: Please Draw Proposed Pattern/Type	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

## Typical Window Styles

Please check the box below the Typical Window Style window that most closely resembles the majority of the windows in your existing home.

If there is no style that resembles the majority of windows in your existing home please attach a picture (may be from a brochure or magazine) that is representative of that majority style and/or the window that you propose to use.

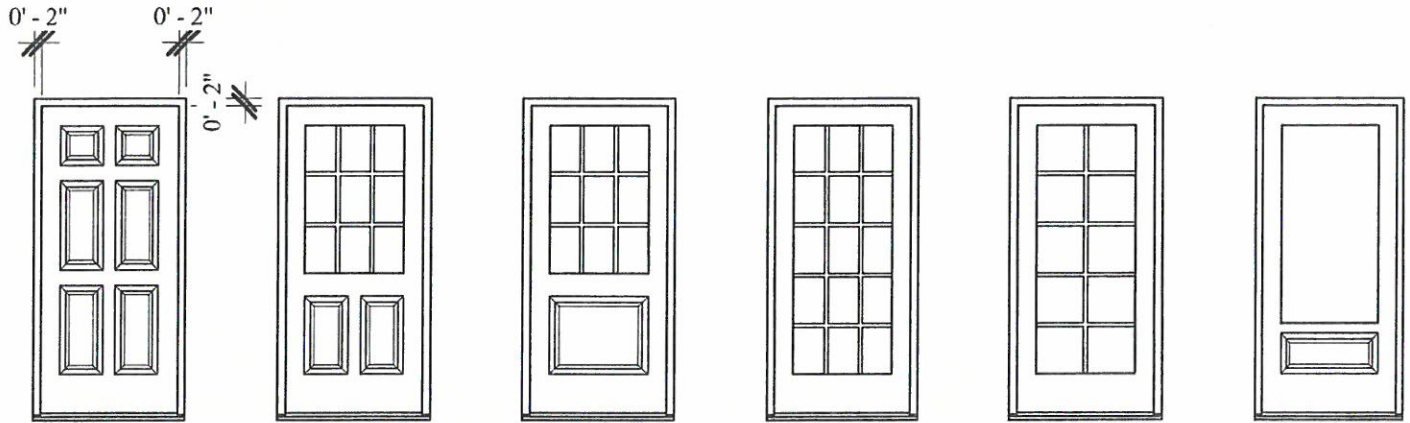
Initial of Applicant: JG

TWS 1 of 1



# Door Type Selection Sheet

2" Minimum Door  
Trim All Doors



6 Panel

9 Lite  
over  
2 Panel

9 Lite  
over  
1 Panel

15 Lite

10 Lite

Custom Lite  
Pattern: Please  
Draw or Attach  
Picture







## Typical Door Styles

Please check the box below the Typical Door Style door that most closely resembles the majority of the exterior doors in your existing home.

If there is no style that resembles the majority of doors in your existing home please attach a picture (may be from a brochure or magazine) that is representative of that majority style and/or the door that you propose to use.

Initial of Applicant: JG

# Material Descriptions

Please check the box next to the material that best describes the area referred:

## Finish material:

### Exterior Finish:

#### Siding Scale:

- To Match Existing  
 New Exposure: Height of Boards: \_\_\_\_\_ In Inches

#### Siding Material:

- Wood.  
 Cement Based Siding.  
 Brick to Match Existing  
 Other (Describe): \_\_\_\_\_

### Roofing:

- Shingle to Match Existing.  
 New Shingle (Entire Roof New and Existing)  
 Seamed Metal Roof:  
 Standing Seam  
 Flat Seam  
 Five "V"  
 Other (Describe): \_\_\_\_\_

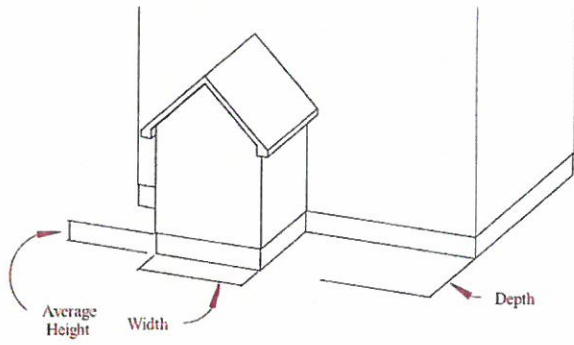
Trim: To Match Existing: If trim will be different Please describe: \_\_\_\_\_

Railing: To Match Existing: If Railing will be different Please describe: \_\_\_\_\_

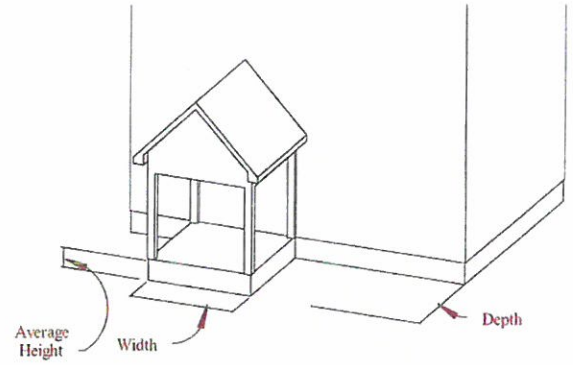
Step Material: **Wood or Trex** \_\_\_\_\_

Foundation Material: Match Existing: If Material will be different Please Describe: \_\_\_\_\_

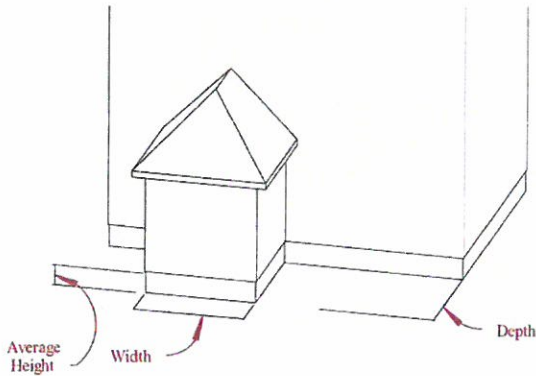
# Addition Type Selection Sheet



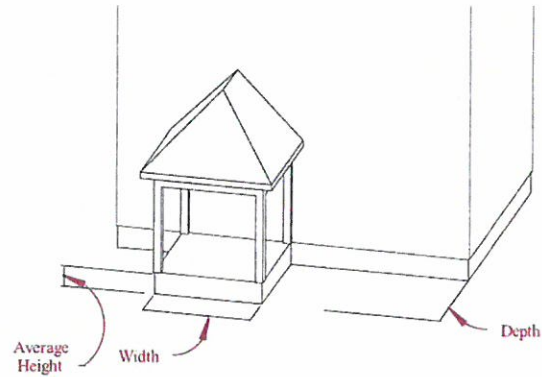
Gable Roof Addition



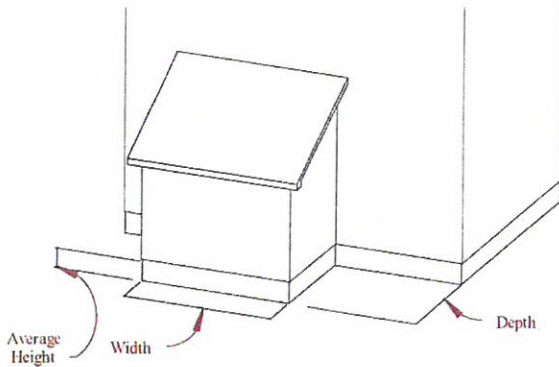
Gable Roof Porch Addition



Hip Roof Addition

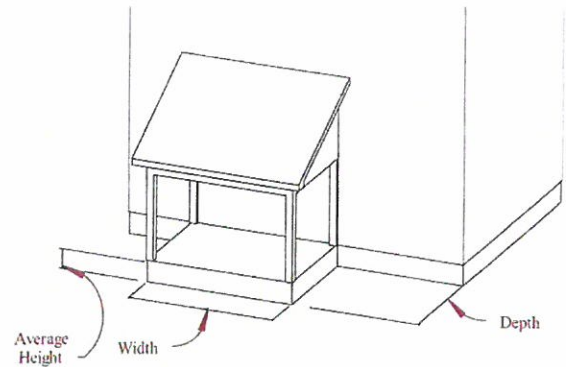


Hip Roof Porch Addition



Shed Roof Addition

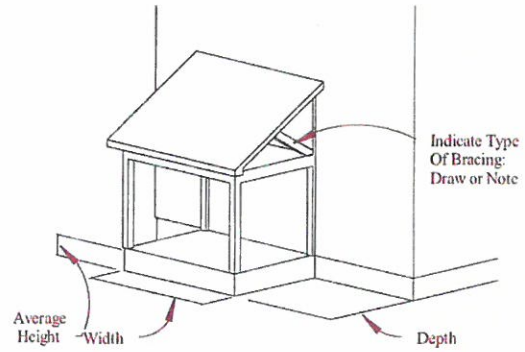
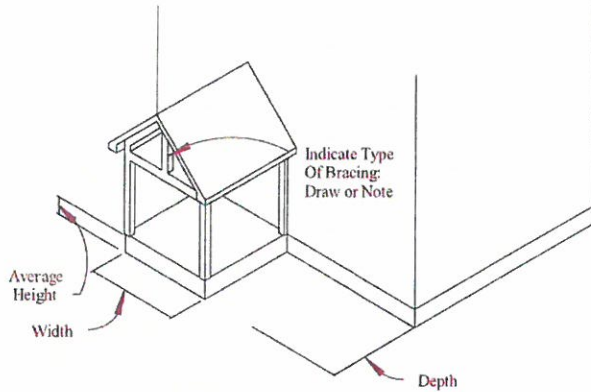
Please check the box next to the addition that most closely resembles the addition to your existing home.



Shed Roof Porch Addition

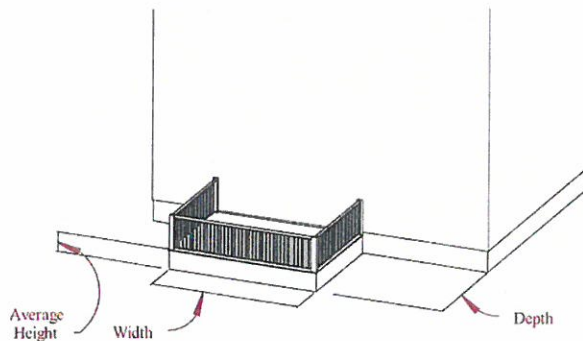
Initial of Applicant: \_\_\_\_\_

# Addition Type Selection Sheet



Gable Roof Open  
End Gable Addition

Shed Roof Open  
End Gable Addition



Deck Addition

Indicate Where Steps (if Applicable) Will Be Located

Please check the box next to the addition that most closely resembles the addition to your existing home.

**General**

1. All exterior doors to be replaced.
2. Exterior brick to be prepped, primed, and painted.
3. Repair/replace any damaged fascia & trim on exterior.
4. Install new architectural dimensional shingles.
5. Install new boots, roof vents, and cap unused roof penetrations.
6. Replace exterior windows with new double hung (2 over 2) windows.
7. Paint existing accessory structure at rear of property.
8. Remove (2) portable storage buildings at rear of property.

**Front Elevation**

10. Demo & remove front steps, hand rails, and columns at front porch.
11. Demo & remove existing lap siding. Install new horizontal clapboard siding & paint.
12. Install new 6"x6" columns & paint.
13. Install new hand rails, pickets, & paint.
14. Prep & paint existing porch floor.
15. Install (2) new ceiling fans & light kits.
16. Install new wall sconce at door.
17. Remove & install new double hung (2 over 2) windows on front.
18. New steps to be added at porch. Match profile of front porch steps.

**Side Porch (Sunroom Conversion)**

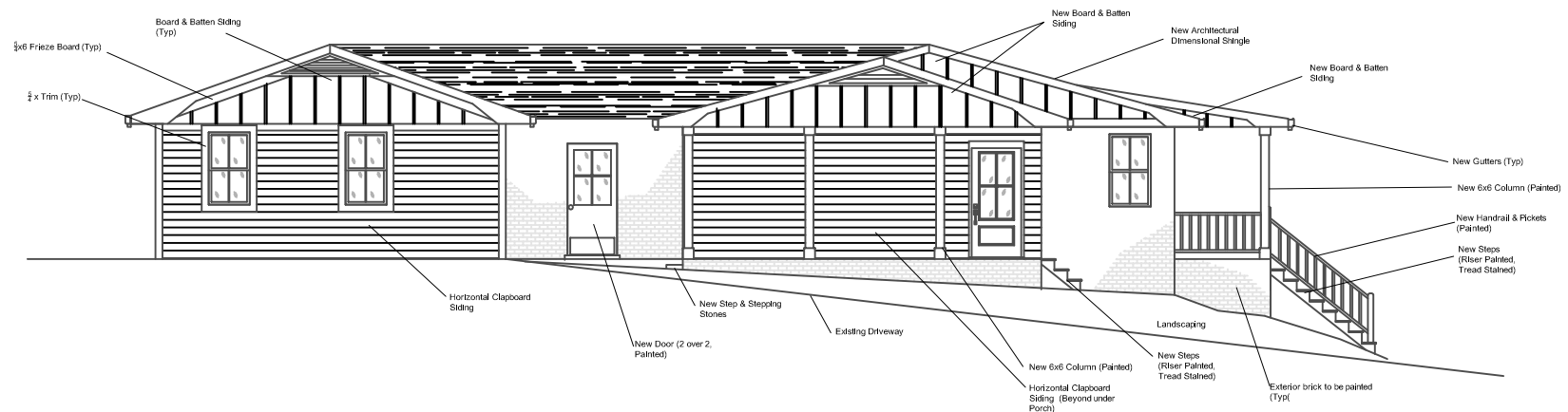
19. Install new horizontal clapboard siding to exterior wall under screen porch and paint.
20. Remove existing double door from porch to dining room. Frame new 2x wall, insulate, wall board on interior, and exterior sheathing at existing double door from porch to dining room.
21. Install new 3'0"x6'8" door from porch to living room.
22. Install two (2) new ceiling fans with light kit.
23. Patch, repair, and stain existing wood deck.
24. Install new 6x6 columns.
25. Install wall sconce at new 3'0"x6'8" door.

**Left Side Elevation**

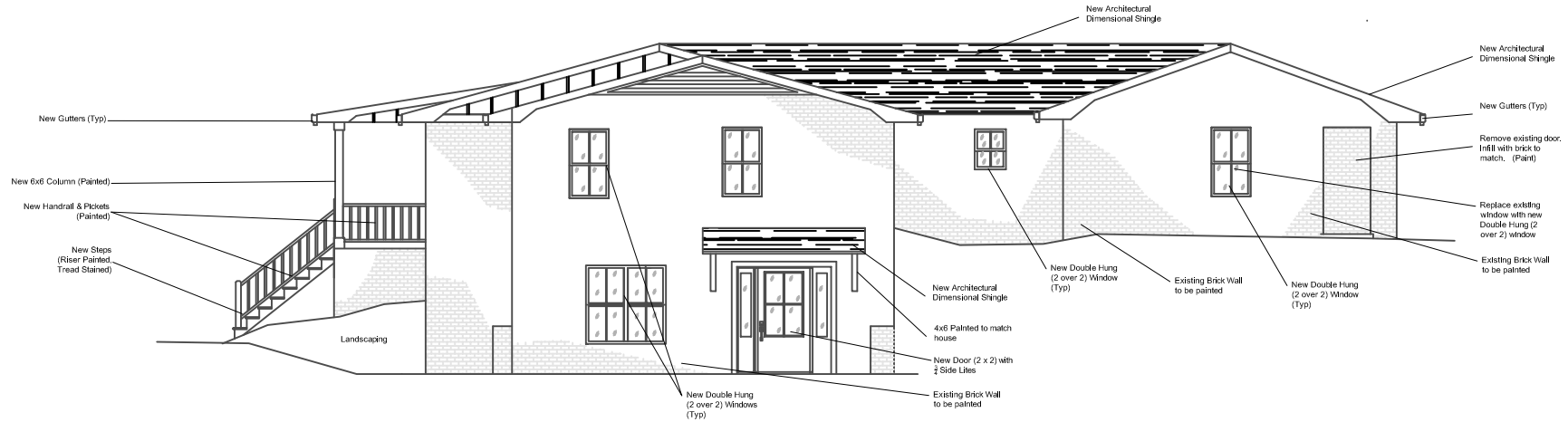
26. Demo existing window, brick, and frame in new 3'0"x6'8" exterior door to mud room.
27. Master Bedroom: Demo existing exterior wall and frame new 2x6, exterior sheathing, waterproof, insulate, and gypsum wallboard on interior.
28. Remove and install (2) new double hung (2 over 2) windows on exterior wall.
29. Install new horizontal clapboard siding & trim.
30. Install new board & batten siding at gables.
16. New steps to be added at porch. Match profile of front porch steps.

**Right Side Elevation**

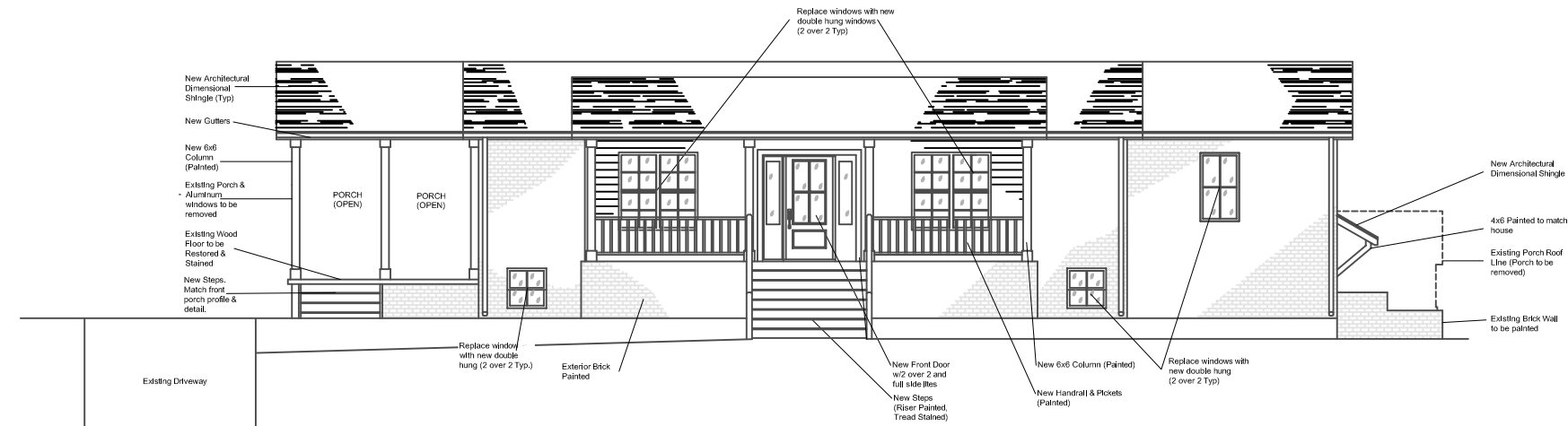
17. Demo existing porch at downstairs entry.
18. Frame & install new shed awning with shingles at entry. 4"x6" braces on each end of shed awning.
19. Remove & install new double hung (2 over 2) windows.
20. Install new board & batten siding at gables.



**LEFT ELEVATION**



**RIGHT ELEVATION**



**FRONT ELEVATION**

**EXTERIOR ELEVATIONS**  
**JACOB & JENNA GRADY RESIDENCE**  
 284 Bridge Street, Senoia, GA 30276  
 (678) 378-3423

Drawn By: BTG	
Drawing Date: June 10, 2023	Revision Date: June 25, 2023

**PRELIMINARY**  
NOT-TO-BE RECORDED

CLERK OF THE SUPERIOR COURT  
RECORDING INFORMATION

**SURVEY DATA:**

N/F LOT 1 PARCEL NUMBER: E02 0016 005  
0.501 ACRES / 21,821 SQ. FEET  
PLAT CLOSURE = 1' IN 25,678 FEET

N/F LOT 2 PARCEL NUMBER: E02 0016 003  
0.501 ACRES / 21,833 SQ. FEET  
PLAT CLOSURE = 1' IN 24,384 FEET

**EQUIPMENT USED:**

GEOMAX ZOOM 90 ROBOTIC TOTAL STATION  
FIELD CLOSURE: 1' IN 14,521 FEET  
ANGULAR ERROR: 02" PER ANGLE POINT  
ADJUSTED BY: COMPASS RULE

**PLAT AND DEED REFERENCES:**

- 1. PLAT BOOK: 60 PAGE: 167
- 2. DEED BOOK: 4311 PAGE: 48
- 3. DEED BOOK: 5632 PAGE: 1909
- 4. DEED BOOK: 5632 PAGE: 2039

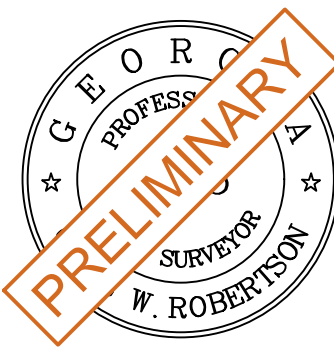
**SURVEY LEGEND:**

- AC. = ACRES
- SF. = SQUARE FEET
- PB. = PLAT BOOK
- DB. = DEED BOOK
- PG. = PAGE
- PN = PARCEL NUMBER
- ADJ. P/L = ADJOINING PROPERTY LINE
- N/F = NOW OR FORMERLY
- R/W = RIGHT-OF-WAY
- P/L = PROPERTY LINE
- PP = POWER POLE
- GW = GUY WIRE
- SSCO = SANITARY SEWER CLEAN-OUT
- SSMH = SANITARY SEWER MANHOLE
- EOP = EDGE OF PAVEMENT
- FH = FIRE HYDRANT
- WV = WATER VALVE
- WM = WATER METER
- OTPF = OPEN TOP PIPE FOUND
- IPF = IRON PIN FOUND
- IPS = IRON PIN SET (1/2" RE-BAR)
- P.O.B. = POINT OF BEGINNING

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**SURVEYOR'S CERTIFICATION**

THIS PLAT IS A RETRACEMENT OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT SUBDIVIDE OR CREATE A NEW PARCEL OR MAKE ANY CHANGES TO ANY REAL PROPERTY BOUNDARIES. THE RECORDING INFORMATION OF THE DOCUMENTS, MAPS, PLATS, OR OTHER INSTRUMENTS WHICH CREATED THE PARCEL OR PARCELS ARE STATED HEREON. **RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND.** FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

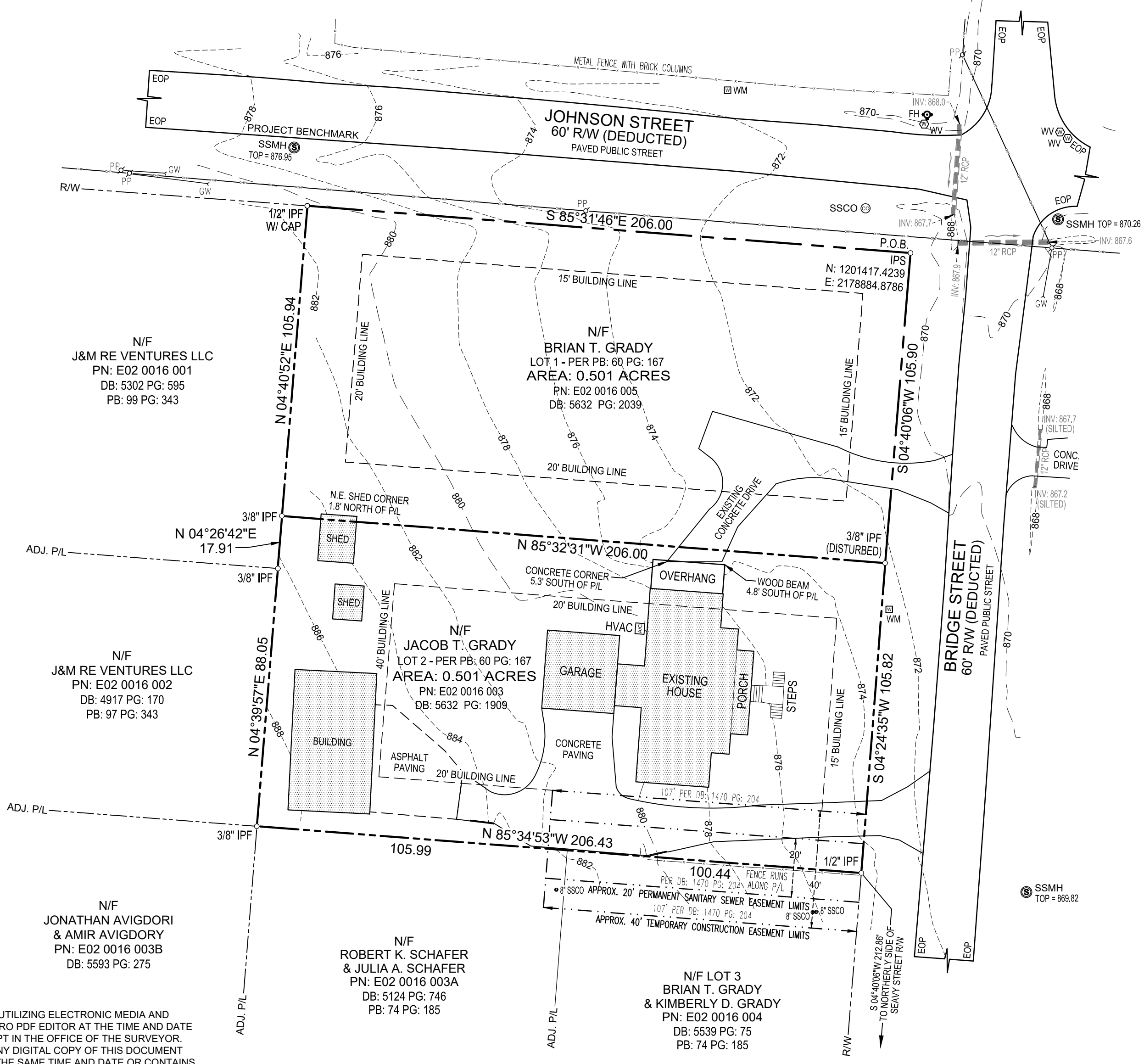


AS SURVEYOR FOR  
GASKINS + LECRAW, INC.

*Chris W. Robertson*  
CHRIS W. ROBERTSON DATE: 06-16-2023  
GEORGIA REGISTERED LAND SURVEYOR NO. 3195

**GENERAL SURVEY NOTES:**

1. THE CERTIFICATION, AS SHOWN HEREON, IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, AND BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. THE CERTIFICATION IS NOT AN EXPRESSED OR IMPLIED WARRANTY OR GUARANTEE.
2. THIS SURVEY COMPLIES WITH BOTH THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE OFFICIAL CODE OF GEORGIA ANNOTATED (OCGA) 15-6-67 AS AMENDED BY HB 76 (2017), IN THAT WHERE A CONFLICT EXISTS BETWEEN THOSE TWO SETS OF SPECIFICATIONS, THE REQUIREMENTS OF LAW PREVAIL.
3. THIS PLAT IS FOR THE EXCLUSIVE USE OF THE PARTIES NAMED IN THE TITLE BLOCK AND OR THE CERTIFICATION. ANY USE BY OTHER PARTIES NOT NAMED IS AT THEIR OWN RISK.
4. THIS PLAT IS NOT VALID UNLESS IT BEARS THE ORIGINAL SIGNATURE OF THE REGISTRANT ACROSS THE REGISTRANT'S SEAL IN CONTRASTING INK.
5. IN MY OPINION THIS PROPERTY IS NOT WITHIN (ZONE A/AE) OR (ZONE X - SHADED) SPECIAL FLOOD HAZARD AREAS AS DEFINED BY F.E.M.A. FLOOD INSURANCE RATE MAP (FIRM) #13077C0291D WITH EFFECTIVE DATE OF FEBRUARY 06, 2013.
6. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT TITLE; THEREFORE, THE UNDERSIGNED AND GASKINS + LECRAW MAKE NO GUARANTEES OR REPRESENTATIONS REGARDING INFORMATION SHOWN HEREON PERTAINING TO EASEMENTS, RIGHT-OF-WAY, SETBACK LINES, AGREEMENTS, RESERVATIONS, AND OTHER SIMILAR MATTERS.
7. LOCATION OF UTILITIES EXISTING ON OR SERVING THE SUBJECT PROPERTY IS DETERMINED BY OBSERVABLE EVIDENCE ONLY. THIS PROPERTY MAY BE SUBJECT TO CLAIMS, PRESCRIPTION, AND SUBSURFACE CONDITIONS THAT ARE NOT VISIBLE OR RECORDED, THUS DEEMING THEM UNDETERMINED AND NOT SHOWN.
8. THIS SURVEY IS RELATED TO GEORGIA, WEST ZONE, STATE PLANE COORDINATE SYSTEM HORIZONTAL DATUM. CONTOUR ELEVATIONS SHOWN HEREON ARE BASED ON NAVD 1988 VERTICAL DATUM. HORIZONTAL AND VERTICAL CONTROL SET BY AVERAGING 180 NETWORK ROVER OBSERVATIONS CONNECTED TO THE EGPS GNSS REFERENCE NETWORK.



PREPARED IN THE OFFICE OF:



**GASKINS  
+ LECRAW**

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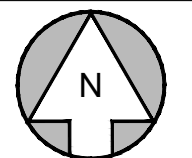
CLIENT  
**BRIAN T. GRADY  
AND JACOB T. GRADY**  
PROJECT  
**RETRACEMENT BOUNDARY SURVEY**  
EXISTING PARCEL NUMBERS: E02 0016 005 AND E02 0016 003  
CITY OF SENOIA, GEORGIA  
LAND LOT: 279, LAND DISTRICT: 1  
COWETA COUNTY, GEORGIA

CALL BEFORE YOU DIG



Know what's below.  
Call before you dig.

SCALE & NORTH ARROW:



GRID NORTH ARROW GEORGIA WEST ZONE  
0' 15' 30' 60'  
SCALE: 1" = 30'

**SURVEY INFO:**

DRAWN BY: CAF REVIEWED BY: CWR  
FIELD DATE: 06-01-23 OFFICE DATE: 06-16-23  
CRD FILE: 284 BRIDGE ST - BND  
DWG FILE: 284 BRIDGE ST - BND  
AJERA: #2305042 N: COWETA0101\_0279

SHEET TITLE:

**1 OF 1**

Drawing name: N:\BND\Coweta\0101\_0279\284 BRIDGE STREET - SENOIA GADW\G284 BRIDGE ST - BND.dwg 17X22 PLAT (L) Jun 28, 2023 3:27pm by: allefmg