



Application for Certificate of Appropriateness

Date Received \_\_\_\_\_ Application No.: \_\_\_\_\_

Address of Subject Property: 354 JOHNSON ST

Applicant: CLINTON B CURRIE

E-Mail: BRENT.CURRIE1@GMAIL.COM

Applicant Mailing Address: 1205 NEW HAVEN CT ROSWELL, GA 30075

Applicant Phone(s): 770-560-9589

Applicant's relationship to the owner: Owner  Architect: \_\_\_\_\_ Contractor/Builder \_\_\_\_\_

Other \_\_\_\_\_

\*\*\*\*\*

Owner(s): CLINTON & CHRISTY CURRIE

E-Mail: BRENT.CURRIE1@GMAIL.COM

Owner(s) Mailing Address: \_\_\_\_\_

1205 NEW HAVEN CT ROSWELL, GA 30075

Owner(s) Telephone Number: \_\_\_\_\_

770-560-9589 404-664-5216

\*\*\*\*\*

Approximate age or date of construction of the primary structure on the property and any secondary structures affected by this project: N/A - EMPTY LOT

Nature of work (check all that apply):

New construction  Demolition  Addition  Moving a building  Other building changes

New accessory building  Landscaping  Fence/Wall  Other environmental changes

Sign installation or replacement  Other

Description of Work:

NEW TWO STORY SINGLE FAMILY HOME WITH DETACHED GARAGE

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

This form must be completed in its entirety before the Planning Department accepts it. The form must be accompanied by supporting documents (plans, material, color samples, photos, etc.). All documents submitted in hard copy must also be submitted in digital form (.pdf format). All relevant items from the application checklist must be addressed. An application which lacks any of the required attachments shall be determined incomplete and will not be accepted.

Applicant \_\_\_\_\_ Date 6/09/2023

354  
JOHNSON



This checklist was created to help applicants prepare a complete application. Omissions and inaccurate information can lead to deferrals and/or denials of applications. Please review the checklist with the project's architect, designer, or builder. All items will not be applicable to all projects. New construction will involve all categories.

Please address questions regarding applicability to your project to the Assistant City Manager, Jeff Fisher at 770-599-3679 or [jfisher@senoia.com](mailto:jfisher@senoia.com). Applicants are also referred to the City of Senoia website, <https://www.senoia.com/documents>. Please bring completed application to Sharon Casey at city hall or if you would like, you may email it to her at [scasey@senoia.com](mailto:scasey@senoia.com). Her direct number is 770-328-3275.

I have reviewed the "Design Guidelines for the City of Senoia" Y N

I have reviewed applicable zoning codes regarding lot coverage, garage sizes, stream buffers Y N

### 1. General

- a. Label all drawings with the address of the site, owners' name, and contact phone number.
- b. Number all drawings.
- c. Include a graphic scale on reductions.
- d. Date all revisions.
- e. Indicate all unverified numbers with +/- signs
- e. Include photos of the existing condition of the property.

### 2. Site Plan (existing and proposed) to include

- a. Topographical plan with significant trees sized and located;
- b. Setback compared to adjacent houses (ask surveyor to show corners of adjacent houses);
- c. Distance between houses;
- d. Façade width to finished face of material;
- e. Grading and elevations across site;
- f. Dirt removal or regrading if more than 18";
- g. Tree protection plan;
- h. Tree removal and replacement plan

### 3. Driveways and Walkways

- a. Location and relationship to house;
- b. Width;
- c. Material;

d. Curb cut and apron width

#### 4. Fences & Retaining Walls

- a. Placement on lot;
- b. Height of fence or wall. If retaining wall, height on both sides;
- c. Material;
- d. Railing if necessary

#### 5. Elevations and Floor Plans <<Indicate all unverified numbers with +/- signs>>

- a. Plans for all floors (drawn to scale, 1/4"=1' preferred);
- b. House orientation on site plan;
- c. Scalable elevations for front, rear, left, right;
- d. Height, grade to ridge;
- e. Streetscape comparison showing heights of two flanking houses on each side;
- f. Height from grade to first floor level at all four corners;
- g. Height from grade or finished floor line to eaves at all four corners;
- h. Ceiling heights of each floor, indicating if rough or finished;
- i. Height of space between the ceiling and finished floor above;
- j. Two people of 5'-6" and 6' height shown;
- k. Landscaping plan

#### 6. Additions

- a. Placement shown on elevations and floor plan;
- b. Visibility from rights-of-way and paths;
- c. Photos of all facades;
- d. Design proportioned to main house;
- e. Landscaping plan;
- f. Materials and their combinations

#### 7. Roof Plan

- a. Shape and pitch of roof;
- b. Roofing material;

- c. Overhang;
- d. Louvers and vents;
- e. Chimney height and material

#### 8. Dormers

- a. Construction details provided;
- b. Shape and size of dormer (show dimensions on drawings);
- c. Overhang;
- d. Size of window(s), with nominal size of sash (show dimensions on drawings)

#### 9. Skylights

- a. Profile;
- b. Visibility from right-of-way;
- c. Material (plastic lens or glass);
- d. Shown in plan and elevation to scale

#### 10. Façade

- a. Consistency in style;
- b. Materials and their combinations
  - brick size and color
  - stone type and color
  - fiber-cement (e.g. Hardieplank) or wood siding
  - shake or shingle
  - other
- c. Height of foundation at corners;
- d. Ceiling heights comparable to area of influence: basement, first floor, second floor;
- e. Detailing: soldier course, brackets, fascia board; water table;
- f. Height from grade to roof ridge;
- g. Dimensions, proportions and placement of windows, doors

## 11. Entrance

- a. Height and width of door;
- b. Design of door (e.g. 6-panel, craftsman);
- c. Material of door;
- d. Overhang;
- e. Portico height;
- f. Size and height of columns or posts;
- g. Railing

## 12. Windows

- a. Consistent with original as well as the area of influence;
- b. Size and proportion similar to original;
- c. Pane orientation and size similar to original;
- d. Type (e.g. double hung, casement);
- e. Fenestration on walls visible from right-of-way;
- f. Simulated divided light (SDL) or true divided light (TDL): location of muntins between the glass, behind the glass or permanently affixed on exterior;
- g. Material of window and any cladding;
- h. Width of muntins compared to original (show dimensions on drawings);
- i. Shutters or canopies
- j. Dimensions of windows and doors.

## 13. Materials

- a. Show all materials and label them on drawings;
- b. Provide samples of brick or stone;
- c. Provide samples if new or unusual materials

14. Garages / Accessory Buildings

- a. Visibility from street;
- b. Placement on site;
- c. Scale, style appropriate for house;
- d. Show dimensions on drawings;
- e. Materials;
- f. Square footage appropriate for lot size;
- g. Garage door size and design
- h. Show height from grade to eaves and to top of roof

6/09/2023

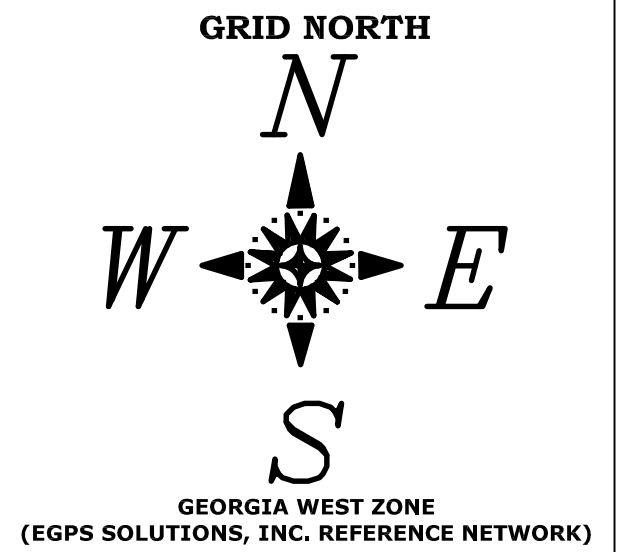
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Applicant Signature

Date







N/F  
KEG CREEK LANDING LLC.  
(D.B. 4726/800)  
(P.B. 42/170)

LAND LOT 289

LAND LOT 290

APPROXIMATE LAND LINE  
(TAKEN GRAPHICALLY FROM P.B. 42/170)

N/F  
DIVIDO  
(D.B. 4696/335)

LOT 1  
1.371 AC.  
(59,718 SQ. FT.)

N/F  
KEG CREEK LANDING LLC.  
(D.B. 4726/800)  
(P.B. 42/170)

N/F  
DIVIDO  
(D.B. 4696/335)  
(P.B. 55/102)

N/F  
DODSON  
(D.B. 4872/438)  
(P.B. 97/224)

N/F  
DODSON  
(D.B. 4872/438)  
(P.B. 97/224)

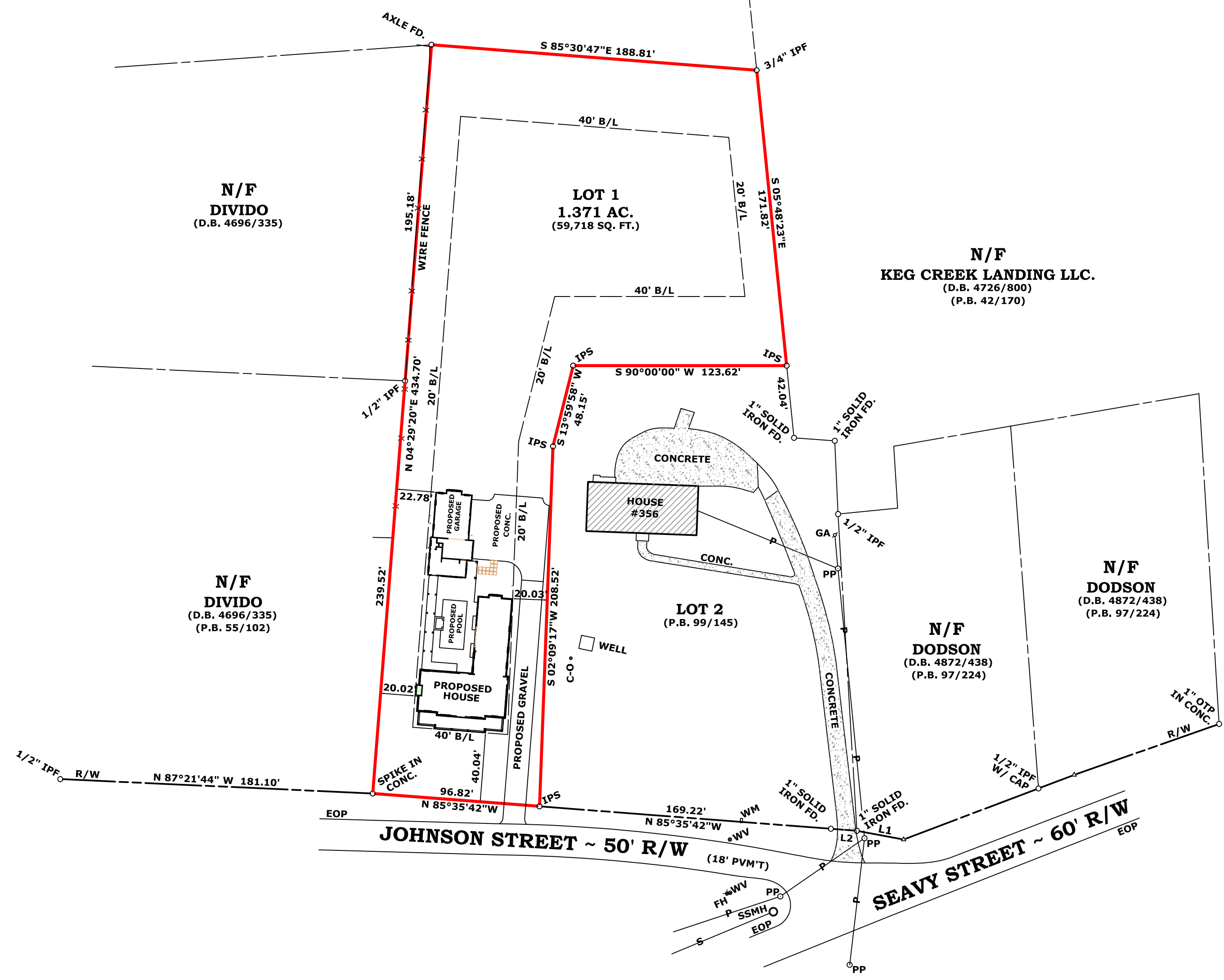
- LEGEND:**
- IPF = IRON PIN FOUND
  - IPS = 1/2" IRON PIN SET
  - OTP = OPEN TOP PIPE
  - B/L = BUILDING LINE
  - R/W = RIGHT-OF-WAY
  - N/F = NOW OR FORMERLY
  - D.B. = DEED BOOK
  - P.B. = PLAT BOOK
  - FH = FIRE HYDRANT
  - WV = WATER VALVE
  - WM = WATER METER
  - C-O = CLEAN-OUT
  - EOP = EDGE OF PAVEMENT
  - L.L. = LAND LOT
  - AC. = ACRES
  - SQ. FT. = SQUARE FEET
  - CMP = CORRUGATED METAL PIPE
  - PP = POWER POLE
  - GA = GUY ANCHOR
  - X = WIRE FENCE
  - P = OVERHEAD POWER LINE
  - SSMH = SANITARY SEWER MANHOLE
  - S = SANITARY SEWER LINE
  - PVM'T = PAVEMENT

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 28,658 FEET OR BETTER AN ANGULAR ERROR OF .03" PER ANGLE POINT, AND HAS BEEN ADJUSTED USING THE LEAST SQUARES RULE.

THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND HAS BEEN FOUND TO BE ACCURATE TO WITHIN ONE FOOT IN 207,632 FEET OR BETTER.

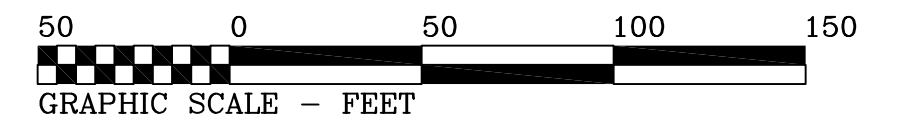
ANGULAR AND LINEAR MEASUREMENTS WERE OBTAINED BY USING A GEOMAX ZOOM 35 PRO TOTAL STATION.

BASIS OF ELEVATIONS AND NORTH ORIENTATION OBTAINED BY USING A TOPCON HIPER SR GPS NETWORK ROVER UTILIZING THE EGPS SOLUTIONS, INC. REFERENCE NETWORK.



**CALL TABLE**

Course	Bearing	Distance
L1	N 79°28'32" W	27.51'
L2	N 85°34'58" W	15.04'



**"NOT TO BE RECORDED"**



**TURNER & ASSOCIATES LAND SURVEYORS, P.C.**  
10 SHACK HUNTER RD. SHARPSBURG, GEORGIA 30277  
TELE: (770) 683-5300 EMAIL: turnerlandsurveyors@gmail.com  
JASON D. TURNER GEORGIA REGISTERED LAND SURVEYOR NO. 2795

**SITE PLAN FOR:**

**BRENT CURRIE**

LOT 1 OF "356 JOHNSON STREET - FINAL PLAT" (P.B. 99/145)  
LOCATED IN LAND LOT 290 1st LAND DISTRICT  
COWETA COUNTY, GEORGIA CITY OF SENOIA

SCALE: 1" = 50'	PLAT DATE: 04-29-2021	REVISED: 02-16-2023
DATES OF FIELD WORK: 05-16-2020; 05-18-2020		DISK #: 2021
		DRAWING #: 2020027-LOT1-R

AS PER F.I.R.M. FLOOD MAPS FOR COWETA COUNTY, GEORGIA; MAP NUMBER 13077C0291D, EFFECTIVE DATE FEB. 06, 2013  
THIS PROPERTY IS NOT LOCATED IN A FEDERALLY DESIGNATED FLOOD HAZARD AREA.

**DESIGN CRITERIA**

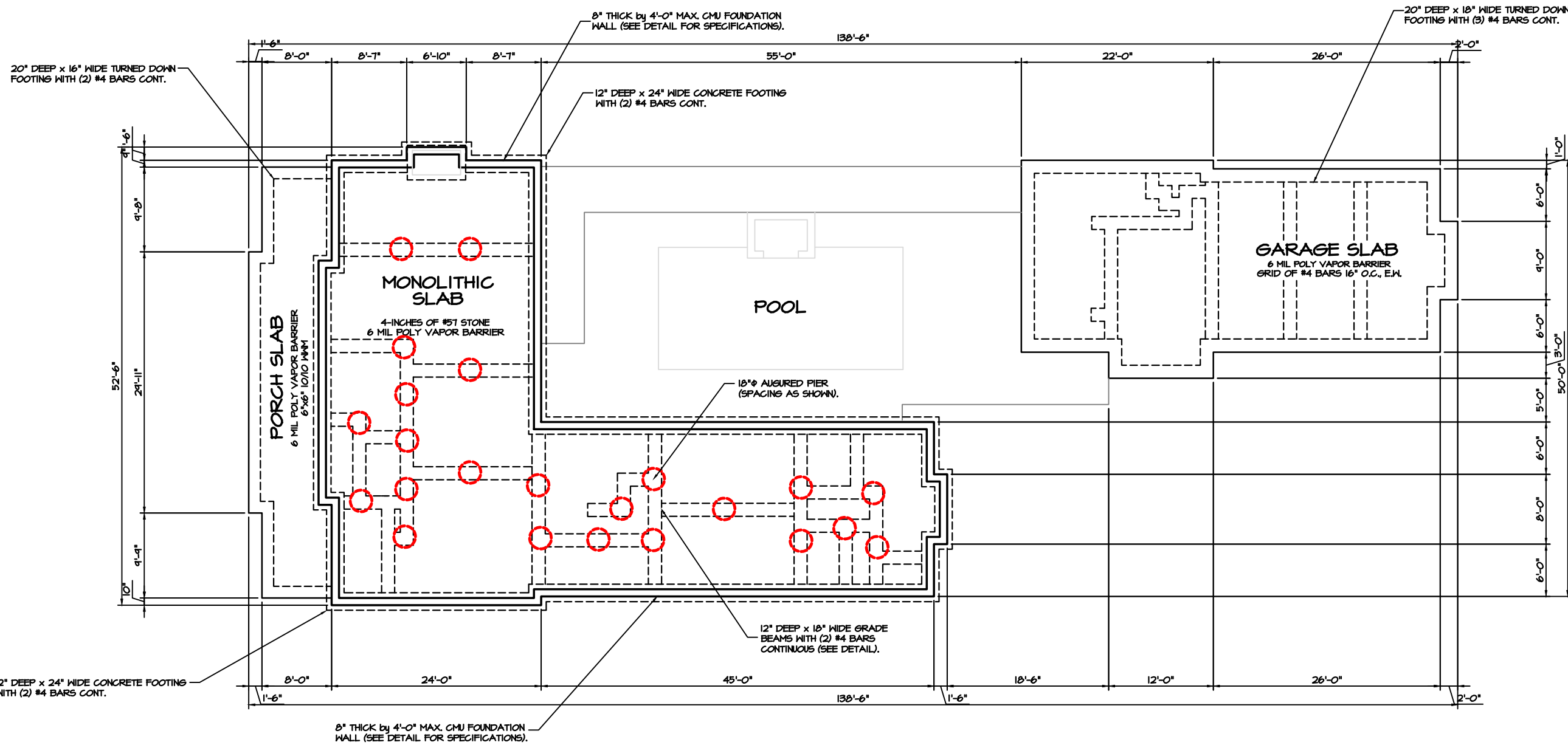
1. MINIMUM ALLOWABLE SOIL BEARING PRESSURE: 2,500 PSF
2. BACKFILL MATERIAL: AS SHOWN
3. SURCHARGE LOADING: NONE
4. LIVE LOAD: 40 PSF
5. DEAD LOAD: 10 PSF
6. STEEL REINFORCEMENT: GRADE 60  
ASTM REFERENCE: ASTM 615
7. 28-DAY COMPRESSIVE STRENGTH (f<sub>c</sub>) OF CONCRETE: 3,000 PSI

**APPLICABLE CODES**

GEORGIA STATE MINIMUM CODES:  
INTERNATIONAL RES. BUILDING CODE, 2018  
and 2020 GEORGIA STATE AMENDMENTS.



CLIENT: CURRIE CONSTRUCTION SERVICES  
ADDRESS: 994 JOHNSTON STREET  
SENOIA, GA  
SCALE: NOT TO SCALE  
DATE: 07 FEB 2023  
AJP



○ DENOTES AUGURED 10" PIER HOLE

**STRUCTURAL FOUNDATION PLAN**

SCALE: 1" = 1'-0"

DRAWING TITLE:  
**STRUCTURAL FOUNDATION DETAILS**

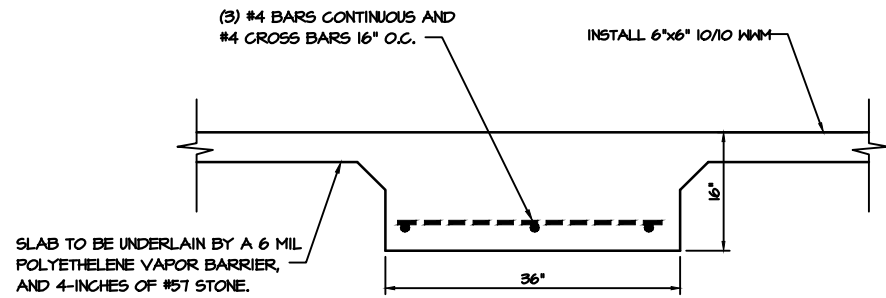
**PALMER CONSTRUCTION CONSULTANTS, INC.**  
204 ARNOLD MILL ROAD  
WOODSTOCK, GA 30188  
T10-886-5033 office  
T10-886-8084 fax  
PER #: 4508

**DESIGN CRITERIA**

1. MINIMUM ALLOWABLE SOIL BEARING PRESSURE: 2,500 PSF
2. BACKFILL MATERIAL: AS SHOWN
3. SURCHARGE LOADING: NONE
4. LIVE LOAD: 40 PSF
5. DEAD LOAD: 10 PSF
6. STEEL REINFORCEMENT: GRADE 60  
ASTM REFERENCE: ASTM 615
7. 28-DAY COMPRESSIVE STRENGTH (f<sub>c</sub>) OF CONCRETE: 3,000 PSI

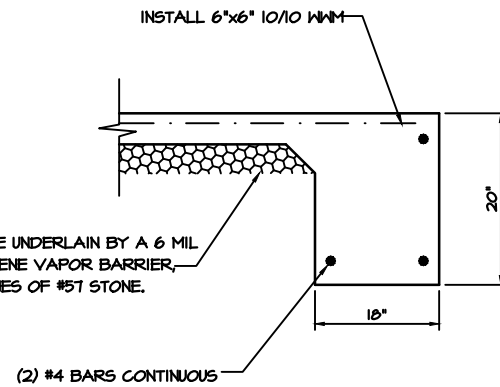
**APPLICABLE CODES**

GEORGIA STATE MINIMUM CODES,  
INTERNATIONAL RES. BUILDING CODE, 2018  
AND 2020 GEORGIA STATE AMENDMENTS.



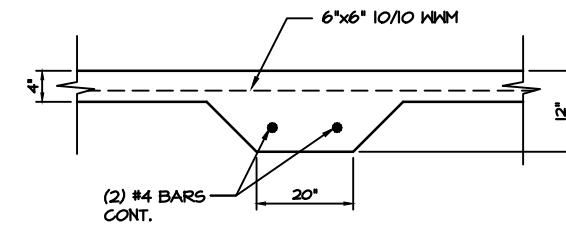
**FIREPLACE FOOTING DETAIL**  
(7' x 3' x 16" DEEP)

SCALE: 1" = 1'-0"



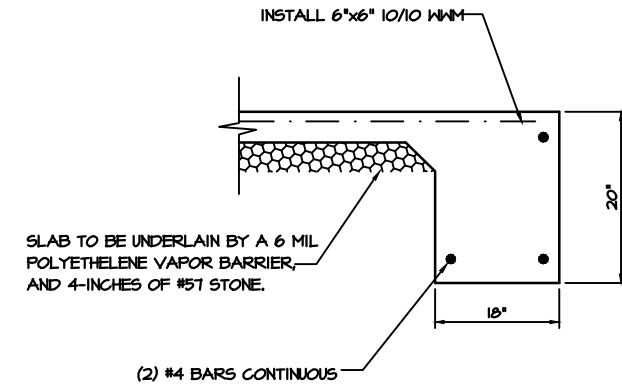
**TURN-DOWN SLAB**  
(AT GARAGE SLAB)

SCALE: 1" = 1'-0"



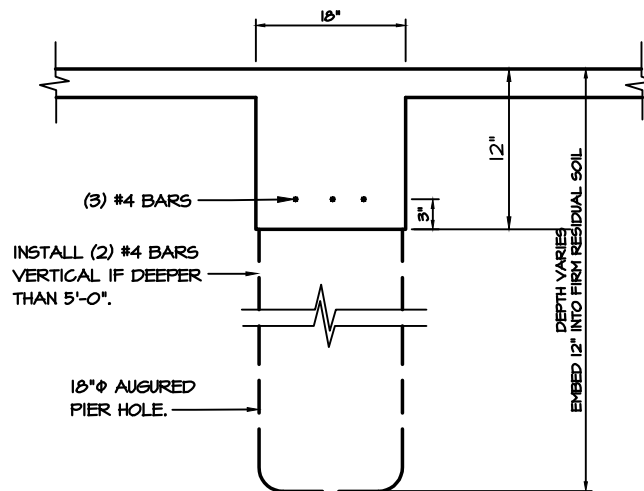
**GRADE BEAM DETAIL**  
(UNDER LOAD BEARING WALLS)

SCALE: 1" = 1'-0"



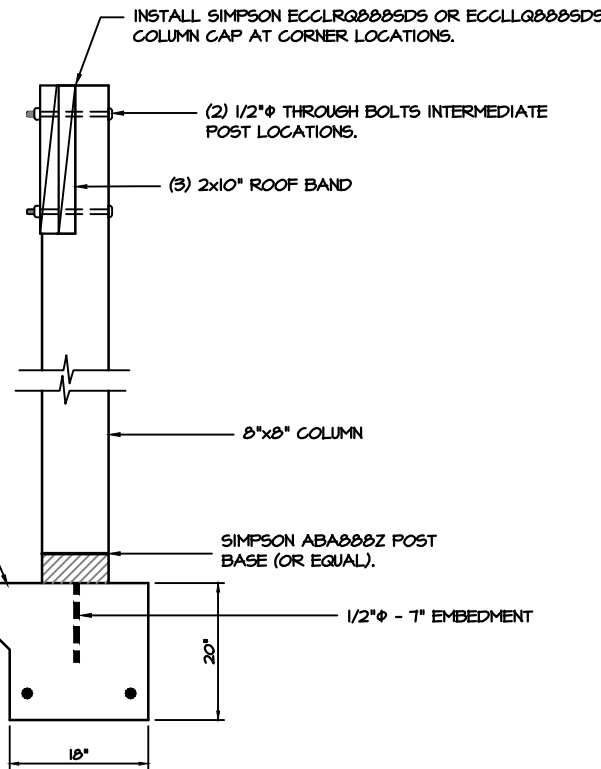
**TURN-DOWN SLAB**  
(AT PORCH SLAB)

SCALE: 1" = 1'-0"



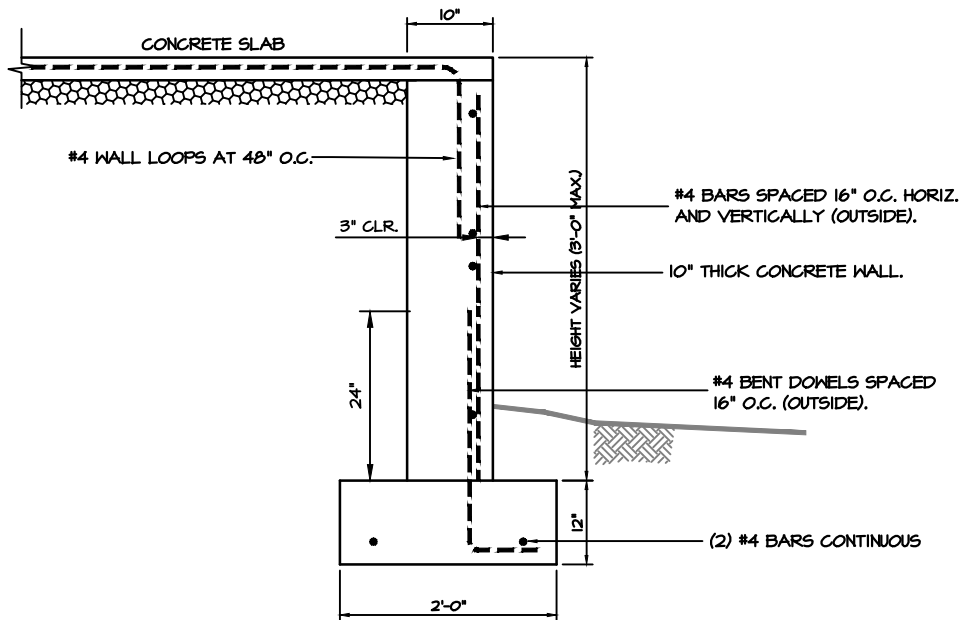
**AUGURED PIER**  
(GRADE BEAM)

SCALE: NOT TO SCALE



**POST DETAIL AT PORCHES**

SCALE: NOT TO SCALE



**4'-0" CONCRETE SUB-WALL**

SCALE: NOT TO SCALE



CLIENT: CURRIE CONSTRUCTION SERVICES  
ADDRESS: 354 JOHNSTON STREET  
SENOIA, GA  
SCALE: 3/32" = 1'-0"  
DATE: 07 FEB 2023  
AJP

DRAWING TITLE:  
**FOUNDATION PLAN  
AND DETAILS**

**DESIGN CRITERIA**

1. MINIMUM ALLOWABLE SOIL BEARING PRESSURE: 2,500 PSF
2. BACKFILL MATERIAL: AS SHOWN
3. SURCHARGE LOADING: NONE
4. LIVE LOAD (FLOOR/ROOF): 40/20 PSF
5. DEAD LOAD (FLOOR/ROOF): 10/10 PSF
6. STEEL REINFORCEMENT: GRADE 60  
ASTM REFERENCE: ASTM 615
7. 28-DAY COMPRESSIVE STRENGTH (f<sub>c</sub>) OF CONCRETE: 3,000 PSI

**WIND DATA**

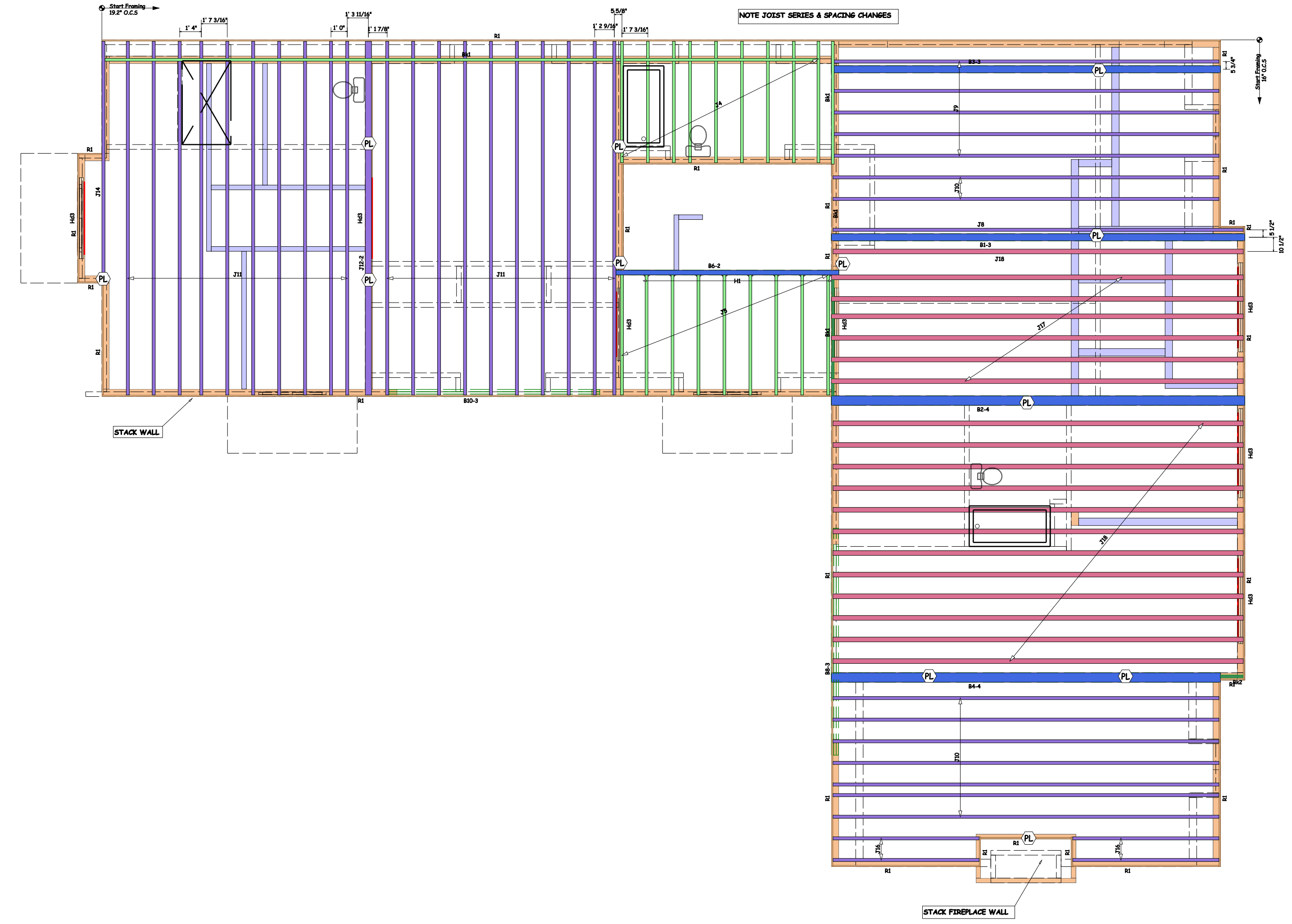
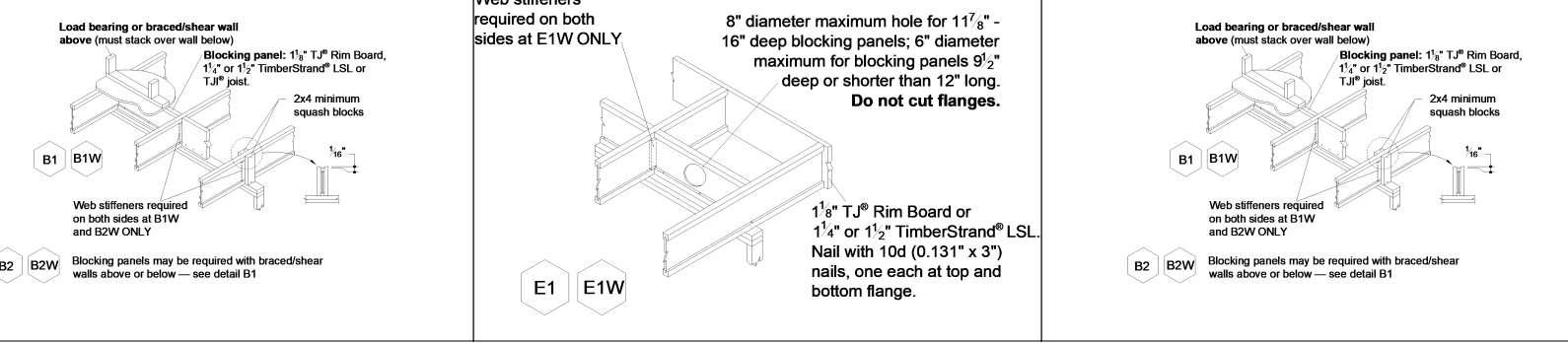
ULT. DESIGN WIND SPEED (3 SEC GUST): 115 MPH  
NOM. DESIGN WIND SPEED (3 SEC GUST): 90 MPH  
RISK CATEGORY: CATEGORY II  
WIND EXPOSURE CATEGORY: EXPOSURE B

**APPLICABLE CODES**

GEORGIA STATE MINIMUM CODES,  
INTERNATIONAL RESIDENTIAL CODE, 2018  
AND 2020 GEORGIA STATE AMENDMENTS.

**PALMER CONSTRUCTION CONSULTANTS, INC.**  
209 ARNOLD MILL ROAD  
WOODSTOCK, GA 30188  
T70-886-5033 office  
T70-886-8084 fax

# Second Floor

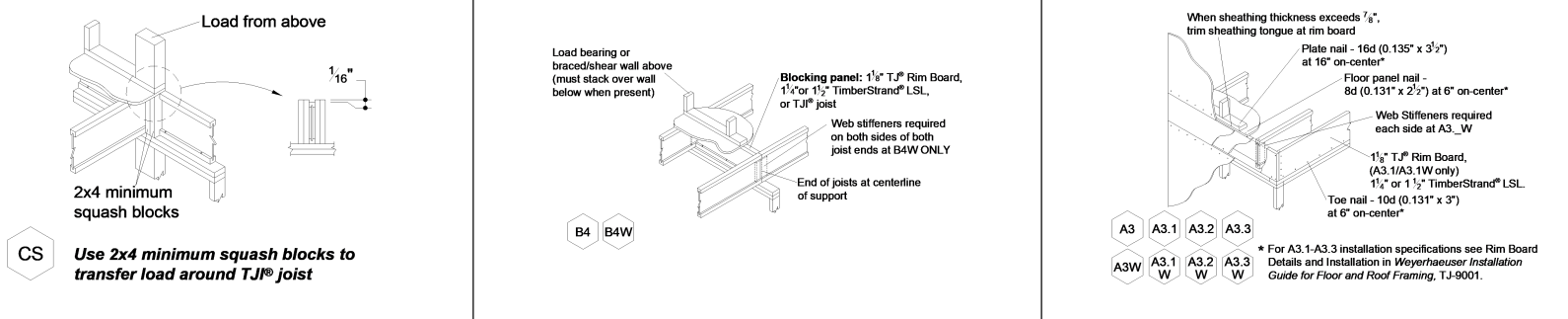
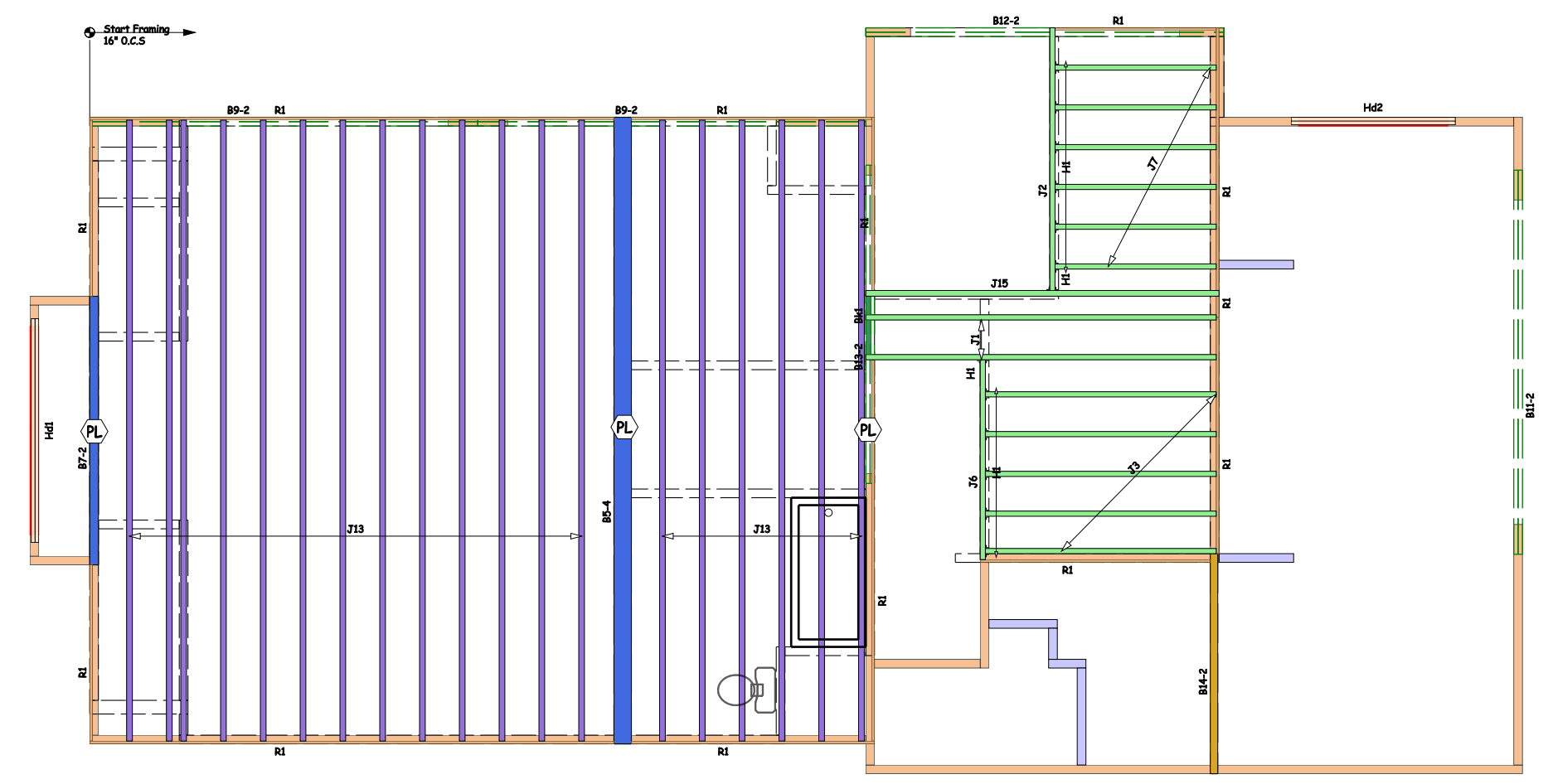


PartID	Length	Product	Piles	Net Qty
J1	12' 0"	16" TJI 210 joist	1	2
J2	10' 0"	16" TJI 210 joist	1	1
J3	8' 0"	16" TJI 210 joist	1	5
J4	8' 0"	16" TJI 210 joist	1	9
J5	8' 0"	16" TJI 210 joist	1	9
J6	8' 0"	16" TJI 210 joist	1	1
J7	6' 0"	16" TJI 210 joist	1	6
BK1	2' 0"	16" TJI 210 joist	1	26
J8	26' 0"	16" TJI 360 joist	1	1
J10	24' 0"	16" TJI 360 joist	1	9
J9	24' 0"	16" TJI 360 joist	1	5
J12-2	22' 0"	16" TJI 360 joist	2	2
J11	22' 0"	16" TJI 360 joist	1	20
J13	22' 0"	16" TJI 360 joist	1	19
J14	16' 0"	16" TJI 360 joist	1	1
J15	12' 0"	16" TJI 360 joist	1	1
J16	10' 0"	16" TJI 360 joist	1	4
BK2	2' 0"	16" TJI 360 joist	1	1
J17	26' 0"	16" TJI 360 joist	1	6
J18	26' 0"	16" TJI 360 joist	1	13
B2-4	26' 0"	1 3/4" x 16" 2.0E Microlam LVL	4	4
B1-3	26' 0"	1 3/4" x 16" 2.0E Microlam LVL	3	3
B4-4	24' 0"	1 3/4" x 16" 2.0E Microlam LVL	4	4
B3-3	24' 0"	1 3/4" x 16" 2.0E Microlam LVL	3	3
B5-4	22' 0"	1 3/4" x 16" 2.0E Microlam LVL	4	4
B6-2	14' 0"	1 3/4" x 16" 2.0E Microlam LVL	2	2
B7-2	10' 0"	1 3/4" x 16" 2.0E Microlam LVL	2	2
B10-3	14' 0"	1 3/4" x 11 7/8" 2.0E Microlam LVL	3	3
B8-3	14' 0"	1 3/4" x 11 7/8" 2.0E Microlam LVL	3	3
B11-2	14' 0"	1 3/4" x 11 7/8" 2.0E Microlam LVL	2	2
B9-2	14' 0"	1 3/4" x 11 7/8" 2.0E Microlam LVL	2	4
B12-2	12' 0"	1 3/4" x 11 7/8" 2.0E Microlam LVL	2	2
B13-2	12' 0"	1 3/4" x 9 1/4" 2.0E Microlam LVL	2	2
R1	16' 0"	1 1/8" x 16" TJ Rim Board	1	24
B14-2	8' 0"	2 x 10 SPF No.1/No.2	2	2
TRUSSLOK 6 3/4"		SCREWS		3 f

f User added item

PartID	Qty	Manuf	Product	Skew	Slope
H11	21	USP	2x10SPF	-	-

PartID	Length	Product	Piles	Net Qty
Hd1	8' 0"	2 x 10 SPF No.1/No.2	2	2
Hd2	6' 0"	2 x 10 SPF No.1/No.2	3	12
Hd3	6' 0"	2 x 10 SPF No.1/No.2	2	2
Hd3	9' 0"	2 x 10 SPF No.1/No.2	3	9



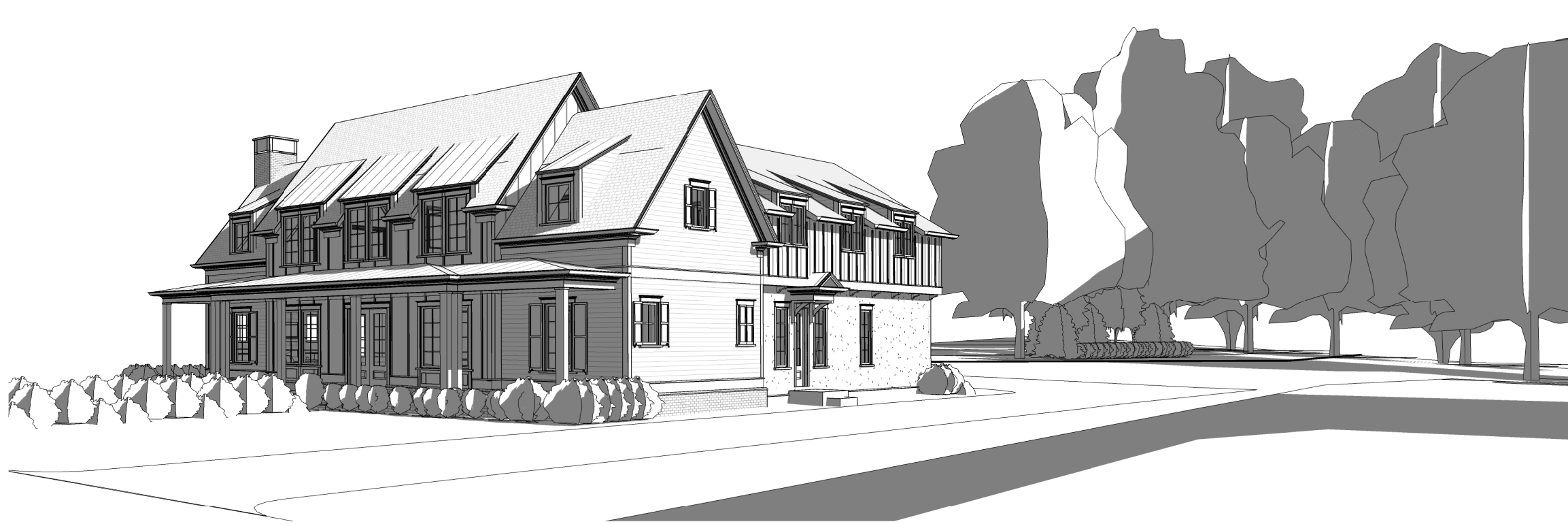
Drawn By:  
Checked By:  
Release Date:  
Revision Date:

These placement plans have been developed for the specification of products based on project information provided. This service is solely intended for product application assurance, and is not intended to circumvent the need for a design professional as determined by the building code. The designer of record and/or builder/framer is responsible to assure these drawings are compatible with the overall project.

Prepared By:

Customer: Currie Construction  
Job Site Address: 354 Johnson Rd  
City, State: Job #:  
Job #: 235411  
Scale:





③ Front - Right



① Garage - Left 1

REVISIONS

BRENT & CHRISTY CURRIE  
 354 JOHNSON ST  
 SENOIA, GA 30276  
 LOT: N/A  
 5/7/2023 12:44:12 PM  
 DRAWN BY: CBC  
 CHECKED BY:

Scale:



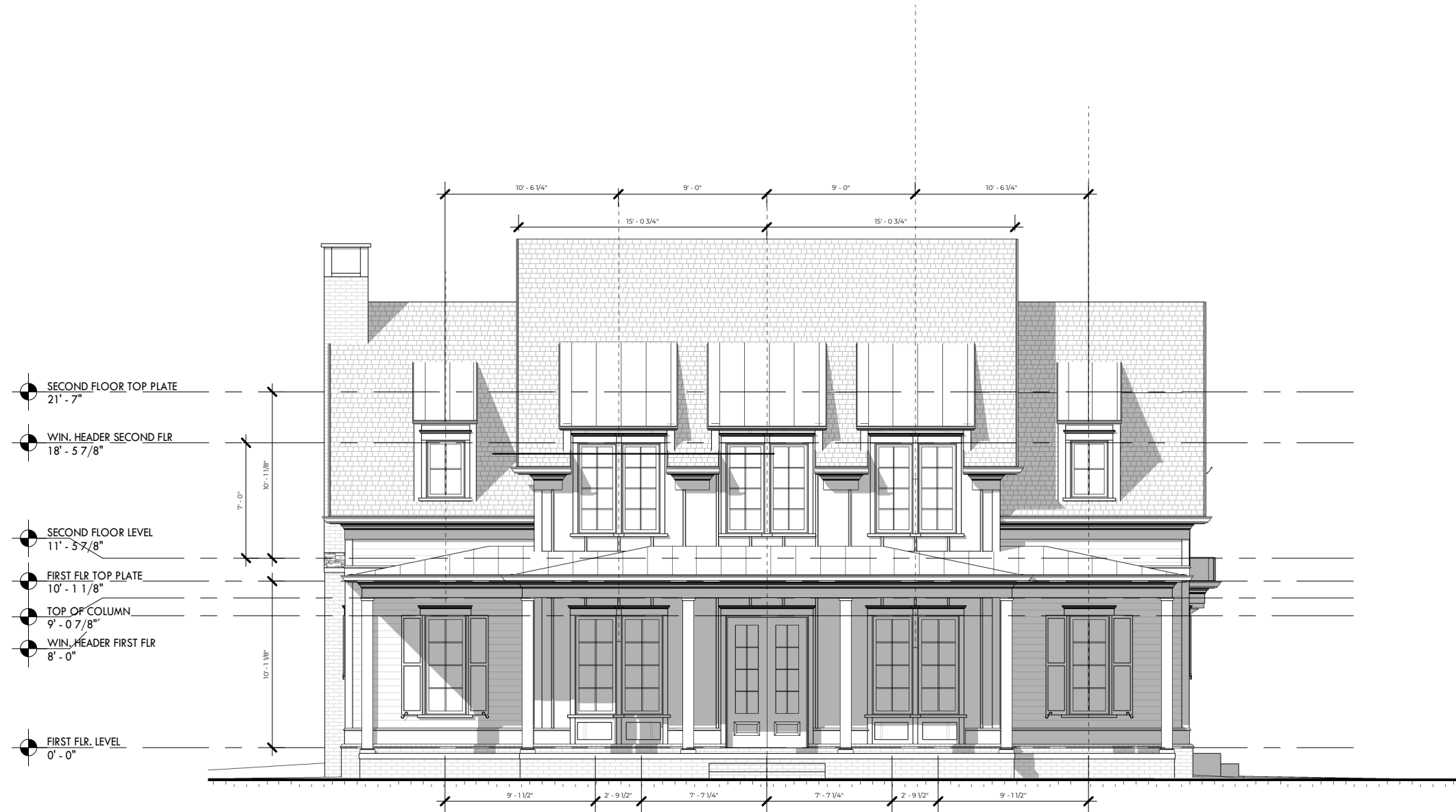
885 Woodstock Rd - Ste 430-395  
 Roswell, GA 30075 - 770.560.9589

CURRIE RESIDENCE  
 3D VIEWS

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 this document may be reproduced, in whole or part, without the prior written permission  
 of Currie Construction Services, LLC.

A0.01

NOTE: CEILING HEIGHTS  
 FIRST FLOOR (TYP): 10'0"  
 SECOND FLOOR (TYP): 10'0"  
 UNLESS NOTED OTHERWISE



① FRONT ELEVATION  
 1/8" = 1'-0"

REVISIONS

BRENT & CHRISTY CURRIE  
 354 JOHNSON ST  
 SENOIA, GA 30276  
 LOT: N/A  
 5/7/2023 12:44:19 PM  
 DRAWN BY: CBC  
 CHECKED BY:

Scale: 1/8" = 1'-0"



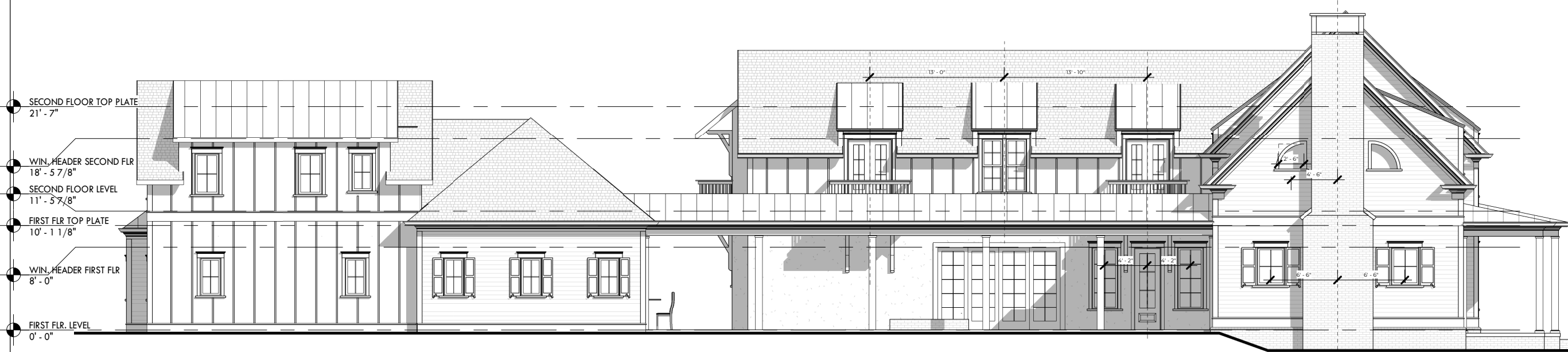
885 Woodstock Rd - Ste 430-395  
 Roswell, GA 30075 - 770.560.9589

CURRIE RESIDENCE  
 FRONT ELEVATION

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A1.01

NOTE: CEILING HEIGHTS  
 FIRST FLOOR (TYP): 10'0"  
 SECOND FLOOR (TYP): 10'0"  
 UNLESS NOTED OTHERWISE



SECOND FLOOR TOP PLATE  
21' - 7"

WIN. HEADER SECOND FLR  
18' - 5 7/8"

SECOND FLOOR LEVEL  
11' - 5 7/8"

FIRST FLR TOP PLATE  
10' - 1 1/8"

WIN. HEADER FIRST FLR  
8' - 0"

FIRST FLR. LEVEL  
0' - 0"

① LEFT ELEVATION  
 3/32" = 1'-0"

REVISIONS

BRENT & CHRISTY CURRIE  
 354 JOHNSON ST  
 SENOIA, GA 30276  
 LOT: N/A  
 5/7/2023 12:44:32 PM  
 DRAWN BY: CBC  
 CHECKED BY:

Scale 3/32" = 1'-0"



885 Woodstock Rd - Ste 430-395  
 Roswell, GA 30075 - 770.560.9589

CURRIE RESIDENCE  
 LEFT ELEVATION

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A1.02



NOTE: CEILING HEIGHTS  
 FIRST FLOOR (TYP): 10'0"  
 SECOND FLOOR (TYP): 10'0"  
 UNLESS NOTED OTHERWISE



① REAR ELEVATION  
 1/8" = 1'-0"

REVISIONS

BRENT & CHRISTY CURRIE
354 JOHNSON ST
SENOIA, GA 30276
LOT: N/A
5/7/2023 12:44:41 PM
DRAWN BY: CBC
CHECKED BY:

Scale: 1/8" = 1'-0"

**CURRIE**  
 DESIGN + BUILD



885 Woodstock Rd - Ste 430-395  
 Roswell, GA 30075 - 770.560.9589

CURRIE RESIDENCE  
 REAR ELEVATION

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A1.03

NOTE: CEILING HEIGHTS  
 FIRST FLOOR (TYP): 10'0"  
 SECOND FLOOR (TYP): 10'0"  
 UNLESS NOTED OTHERWISE



SECOND FLOOR TOP PLATE  
21' - 7"

WIN. HEADER SECOND FLR  
18' - 5 7/8"

SECOND FLOOR LEVEL  
11' - 5 7/8"

FIRST FLR TOP PLATE  
10' - 1 1/8"

WIN. HEADER FIRST FLR  
8' - 0"

FIRST FLR. LEVEL  
0' - 0"

1 FALSE WINDOW PANEL W/SHUTTERS

1/2" RAISED SLAB W/ BRICK LEDGE

① RIGHT ELEVATION  
 3/32" = 1'-0"

REVISIONS

BRENT & CHRISTY CURRIE  
 354 JOHNSON ST  
 SENOIA, GA 30276  
 LOT: N/A  
 5/7/2023 12:44:58 PM  
 DRAWN BY: CBC  
 CHECKED BY:

Scale 3/32" = 1'-0"



885 Woodstock Rd - Ste 430-395  
 Roswell, GA 30075 - 770.560.9589

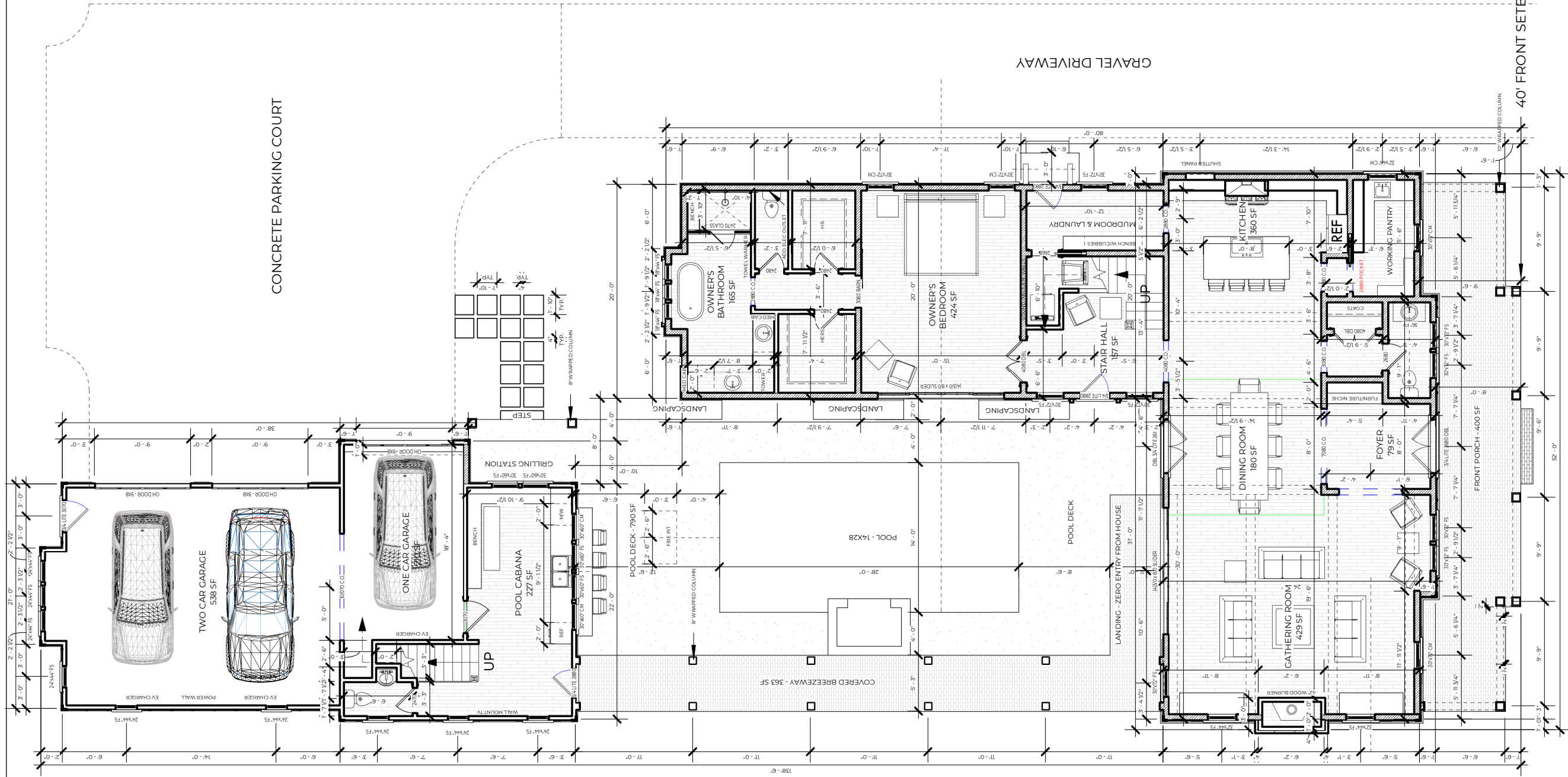
CURRIE RESIDENCE  
 RIGHT ELEVATION

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A1.04

**SQUARE FOOTAGE CHART**

Level	Area	Comments
<b>HEATED</b>		
FIRST FLR. LEVEL	2128 SF	HEATED
SECOND FLOOR LEVEL	1384 SF	HEATED
	3511 SF	
<b>OPTIONAL HEATED</b>		
SECOND FLOOR LEVEL	456 SF	OPTIONAL HEATED
	456 SF	
<b>UNHEATED</b>		
FIRST FLR. LEVEL	747 SF	UNHEATED
SECOND FLOOR LEVEL	657 SF	UNHEATED
	1405 SF	
	5372 SF	



① FIRST FLOOR PLAN  
3/32" = 1'-0"

<b>REVISIONS</b>	
Scale 3/32" = 1'-0"	
<p><b>BRENT &amp; CHRISTY CURRIE</b> 354 JOHNSON ST SENOIA, GA 30276 LOT: N/A 5/7/2023 12:45:00 PM DRAWN BY: CBC CHECKED BY:</p>	 <p><b>CURRIE RESIDENCE</b> <b>FIRST FLOOR PLAN</b></p> <p><small>Copyright 2020 Currie Construction Services, LLC. All rights reserved. No portion of this document may be copied, in whole or part, without the prior written permission of Currie Construction Services, LLC.</small></p> <p>885 Woodstock Rd - Ste 430-395 Roswell, GA 30075 - 770.560.9589</p>
<b>A2.02</b>	





### DOOR SCHEDULE

Type	Width	Height	Count	Headers
3/4 LITE 2270 DBL			3	0' - 0"
3/4 LITE 2680 DBL			1	0' - 0"
DBL 3/4 LITE 2680			1	0' - 0"
FULL LITE 2070 DBL			1	0' - 0"
3/4 LITE 2868	0' - 0"	0' - 0"	1	6' - 0"
3/4 LITE 2880	0' - 0"	0' - 0"	3	18' - 0"
3/4 LITE 3070	0' - 0"	0' - 0"	1	6' - 0"
2468	2' - 4"	6' - 8"	3	32' - 0"
2668	2' - 6"	6' - 8"	8	88' - 0"
2868	2' - 8"	6' - 8"	3	34' - 0"
2868 C.O.	2' - 8"	6' - 8"	2	22' - 8"
3068	3' - 0"	6' - 8"	1	12' - 0"
4068 DBL	4' - 0"	6' - 8"	1	14' - 0"
10/068 C.O.	10' - 0"	6' - 8"	1	26' - 0"
12/068 C.O.	12' - 0"	6' - 8"	1	30' - 0"
2470	2' - 4"	7' - 0"	5	53' - 4"
2470 GLASS	2' - 4"	7' - 0"	2	21' - 4"
3070	3' - 0"	7' - 0"	1	12' - 0"
4070 C.O.	4' - 0"	7' - 0"	1	14' - 0"
10/070 C.O.	10' - 0"	7' - 0"	1	26' - 0"
2480	2' - 4"	8' - 0"	3	32' - 0"
2680	2' - 6"	8' - 0"	1	11' - 0"
2880 C.O.	2' - 8"	8' - 0"	4	45' - 4"
3080 BARN	3' - 0"	8' - 0"	2	24' - 0"
3080 C.O.	3' - 0"	8' - 0"	1	12' - 0"
4080 C.O.	4' - 0"	8' - 0"	1	14' - 0"
4080 DBL	4' - 0"	8' - 0"	2	28' - 0"
6080 C.O.	6' - 0"	8' - 0"	1	18' - 0"
7080 C.O.	7' - 0"	8' - 0"	1	20' - 0"
OH DOOR - 9X8	9' - 0"	8' - 0"	3	72' - 0"
(4)3/0 x 8/0 SLIDER	11' - 10"	8' - 0"	2	59' - 4"

62 62 751' - 0"

### ROOF SCHEDULE

Comments	Area
Asphalt Shingle	4167 SF
Metal Standing Seam	2422 SF

### FLOORING SCHEDULE

Floor Finish	Level	Name	Area
	SECOND FLOOR LEVEL	ATTIC STORAGE	602 SF
	SECOND FLOOR LEVEL	UTILITY ROOM	55 SF
			657 SF

#### HARDWOODS

HARDWOODS	FIRST FLR. LEVEL	DINING ROOM	180 SF
HARDWOODS	FIRST FLR. LEVEL	FOYER	79 SF
HARDWOODS	FIRST FLR. LEVEL	GATHERING ROOM	429 SF
HARDWOODS	FIRST FLR. LEVEL	KITCHEN	360 SF
HARDWOODS	FIRST FLR. LEVEL	MUDROOM & LAUNDRY	72 SF
HARDWOODS	FIRST FLR. LEVEL	OWNER'S BEDROOM	424 SF
HARDWOODS	FIRST FLR. LEVEL	POOL CABANA	227 SF
HARDWOODS	FIRST FLR. LEVEL	POWDER ROOM	35 SF
HARDWOODS	FIRST FLR. LEVEL	STAIR HALL	157 SF
HARDWOODS	SECOND FLOOR LEVEL	BEDROOM 2	245 SF
HARDWOODS	SECOND FLOOR LEVEL	BEDROOM 3	272 SF
HARDWOODS	SECOND FLOOR LEVEL	FUTURE FINISHED	456 SF
HARDWOODS	SECOND FLOOR LEVEL	SITTING ROOM	166 SF
HARDWOODS	SECOND FLOOR LEVEL	STUDY	228 SF
HARDWOODS	SECOND FLOOR LEVEL	UPPER STAIR HALL	332 SF
			3661 SF

#### TILE

TILE	FIRST FLR. LEVEL	OWNER'S BATHROOM	165 SF
TILE	SECOND FLOOR LEVEL	BATHROOM 2	76 SF
TILE	SECOND FLOOR LEVEL	BATHROOM 3	66 SF
			306 SF
			4625 SF

### WINDOW SCHEDULE

Tempered	Type	Width	Height	Count	Mark
No	12"x24" VENT	1' - 0"	2' - 0"	1	
No	24"x44" FS	2' - 0"	3' - 8"	15	
No	24"x62" SGL	2' - 0"	5' - 2"	2	
No	26" x 26" QTR ROUND	2' - 6"	2' - 6"	2	
No	28"x42" FS	2' - 4"	3' - 6"	2	
No	28"x48" CM-E	2' - 4"	4' - 0"	3	
No	28"x48" FS	2' - 4"	4' - 0"	6	
No	28"x66" CM-E	2' - 4"	5' - 6"	2	
No	28"x66" FS	2' - 4"	5' - 6"	4	
No	28"x66" SGL	2' - 4"	5' - 6"	2	
No	30"x60" CM	2' - 6"	5' - 0"	2	
No	30"x60" FS	2' - 6"	5' - 0"	4	
No	30"x72" CM	2' - 6"	6' - 0"	4	
No	30"x72" FS	2' - 6"	6' - 0"	8	
No	32"x44" CM	2' - 8"	3' - 8"	1	4 TOTAL
No	32"x44" FS	2' - 8"	3' - 8"	4	4 TOTAL
Yes	18"x44" FS	1' - 6"	3' - 8"	3	TEMPERED

65 65


### WALL MATERIAL TAKE-OFF

Type	Material: Name	Material: Area
EXT_2x4 W/ BOARD-BATTEN	Board and Batten	1943 SF
EXT_2x6 W/ BOARD-BATTEN	Board and Batten	435 SF
Board and Batten		2378 SF
Walls 107	Cast Iron	74 SF
Cast Iron		74 SF
EXT_6" CONC W/ 3" QUEEN BRICK	CONCRETE_CAST-IN-PLACE_WALL	88 SF
CONCRETE_CAST-IN-PLACE_WALL		88 SF
EXT_2x4 W/ 3" QUEEN BRICK	Default Wall	1342 SF
Default Wall		1342 SF
EXT_2x6 W/STUCCO	Finishes - Ext - Stucco	1175 SF
Finishes - Ext - Stucco		1175 SF
Glass	Glass	44 SF
Glass		44 SF
EXT_2x4 W/5" LAP SIDING	Gyp Bd - Walls	1556 SF
EXT_2x4 W/ BOARD-BATTEN	Gyp Bd - Walls	1864 SF
EXT_2x4 W/DURAPLY	Gyp Bd - Walls	57 SF
EXT_2x6 W/5" LAP SIDING	Gyp Bd - Walls	1176 SF
EXT_2x6 W/ 3" QUEEN BRICK	Gyp Bd - Walls	251 SF
EXT_2x6 W/ BOARD-BATTEN	Gyp Bd - Walls	437 SF
EXT_2x6 W/STUCCO	Gyp Bd - Walls	1166 SF
INT_2x4 W/ GYP_TILE	Gyp Bd - Walls	95 SF
INT_2x4 W/ GYP_TWO SIDES	Gyp Bd - Walls	9235 SF
INT_2x6 W/ GYP_TWO SIDES	Gyp Bd - Walls	2548 SF
Gyp Bd - Walls		18385 SF
EXT_2x4 W/ 3" QUEEN BRICK	QUEEN BRICK 2	336 SF
EXT_2x6 W/ 3" QUEEN BRICK	QUEEN BRICK 2	251 SF
EXT_6" CONC W/ 3" QUEEN BRICK	QUEEN BRICK 2	88 SF
EXT_QUEEN BRICK_4"	QUEEN BRICK 2	89 SF
Walls 5	QUEEN BRICK 2	34 SF
Walls 5	QUEEN BRICK 2	26 SF
QUEEN BRICK 2		823 SF
EXT_2x4 W/5" LAP SIDING	SIDING_5" CLAPBOARD SIDING	1548 SF
EXT_2x6 W/5" LAP SIDING	SIDING_5" CLAPBOARD SIDING	1189 SF
SIDING_5" CLAPBOARD SIDING		2736 SF
EXT_2x4 W/5" LAP SIDING	WOOD SHEATHING_7/16" EXT. WALL SHEATHING	1549 SF
EXT_2x4 W/ BOARD-BATTEN	WOOD SHEATHING_7/16" EXT. WALL SHEATHING	1937 SF
EXT_2x4 W/DURAPLY	WOOD SHEATHING_7/16" EXT. WALL SHEATHING	56 SF
EXT_2x6 W/5" LAP SIDING	WOOD SHEATHING_7/16" EXT. WALL SHEATHING	1188 SF
EXT_2x6 W/ 3" QUEEN BRICK	WOOD SHEATHING_7/16" EXT. WALL SHEATHING	251 SF
EXT_2x6 W/ BOARD-BATTEN	WOOD SHEATHING_7/16" EXT. WALL SHEATHING	435 SF
EXT_2x6 W/STUCCO	WOOD SHEATHING_7/16" EXT. WALL SHEATHING	1174 SF
WOOD SHEATHING_7/16" EXT. WALL SHEATHING		6589 SF
EXT_2x4 W/5" LAP SIDING	WOOD_2X4 STUD LAYER	1557 SF
EXT_2x4 W/ BOARD-BATTEN	WOOD_2X4 STUD LAYER	1939 SF
EXT_2x4 W/DURAPLY	WOOD_2X4 STUD LAYER	57 SF
INT_2x4 W/ GYP_TILE	WOOD_2X4 STUD LAYER	95 SF
INT_2x4 W/ GYP_TWO SIDES	WOOD_2X4 STUD LAYER	4631 SF
WOOD_2X4 STUD LAYER		8279 SF
EXT_2x6 W/5" LAP SIDING	WOOD_2X6 STUD LAYER	1187 SF
EXT_2x6 W/ 3" QUEEN BRICK	WOOD_2X6 STUD LAYER	251 SF
EXT_2x6 W/ BOARD-BATTEN	WOOD_2X6 STUD LAYER	441 SF
EXT_2x6 W/STUCCO	WOOD_2X6 STUD LAYER	1173 SF
INT_2x6 W/ GYP_TWO SIDES	WOOD_2X6 STUD LAYER	1274 SF
WOOD_2X6 STUD LAYER		4326 SF

### REVISIONS


BRENT & CHRISTY CURRIE  
 354 JOHNSON ST  
 SENOIA, GA 30276  
 LOT: N/A  
 5/7/2023 12:45:05 PM  
 DRAWN BY: CBC  
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CURRIE RESIDENCE  
 SCHEDULES

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