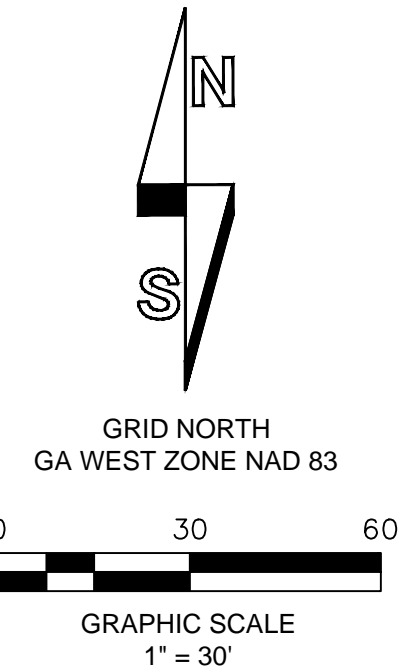


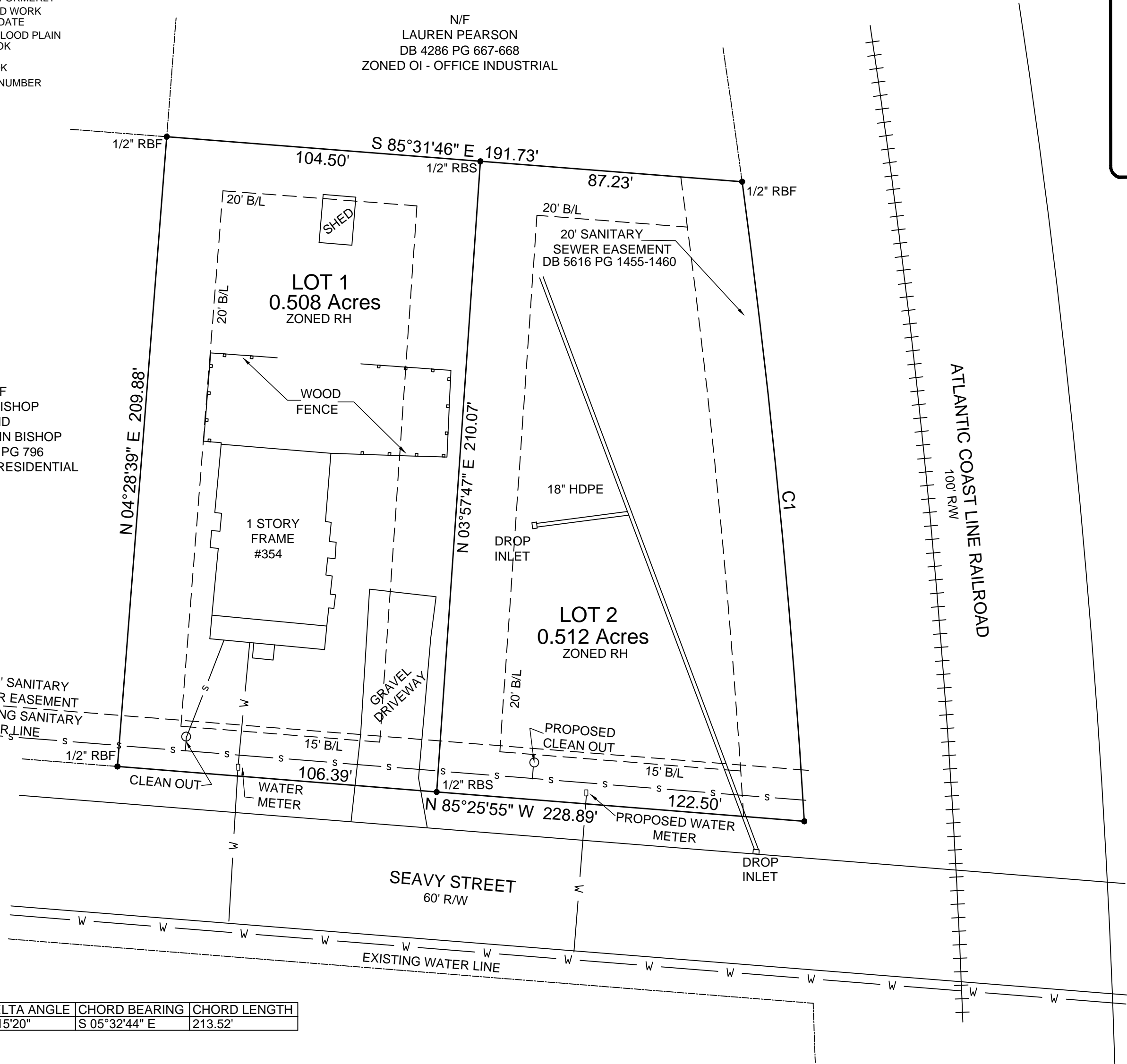
THIS BLOCK RESERVED FOR THE CLERK OF THE SUPERIOR COURT.

LEGEND
 RBF=REBAR FOUND
 RBS=REBAR SET
 CTP=CRIMP TOP PIPE
 L.L.=LAND LOT
 L.L.L.=LAND LOT LINE
 P.L.=PROPERTY LINE
 CO=CONSTRUCTION ENTRANCE
 EP=EDGE OF PAVEMENT
 P.O.B.=POINT OF BEGINNING
 B/L=BUILDING SETBACK LINE
 D.E.=DRAINAGE EASEMENT
 N/F=NOW OR FORMERLY
 F.W.P.D.=FIELD WORK PERFORMED DATE
 O/F=OUT OF FLOOD PLAIN
 DB=DEED BOOK
 PG=PAGE
 PB=PLAT BOOK
 ###=HOUSE NUMBER



N/F
 SEAN BISHOP
 AND
 CARLEE ANN BISHOP
 DB 4368 PG 796
 ZONED R40 - RESIDENTIAL

N/F
 LAUREN PEARSON
 DB 4286 PG 667-668
 ZONED OI - OFFICE INDUSTRIAL



CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	213.57'	2875.40'	4°15'20"	S 05°32'44" E	213.52'

SURVEYORS CERTIFICATION

AS REQUIRED BY SUBSECTION (c) OF O.C.G.A. SECTION 15-6-67, THE REGISTERED LAND SURVEYOR HEREBY CERTIFIES THAT THIS MAP, PLAT, OR PLAN HAS BEEN APPROVED FOR FILING IN WRITING BY ANY AND ALL APPLICABLE MUNICIPAL, COUNTY, OR MUNICIPAL-COUNTY PLANNING COMMISSIONS OR MUNICIPAL OR COUNTY GOVERNING AUTHORITIES OR THAT SUCH GOVERNMENTAL BODIES HAVE AFFIRMED IN WRITING THAT APPROVAL IS NOT REQUIRED.

FINAL SURVEYOR'S CERTIFICATE

IT IS HEREBY CERTIFIED THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE BY ME OR UNDER MY SUPERVISION; THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST OR ARE MARKED AS "FUTURE" AND THEIR LOCATION, SIZE, TYPE, AND MATERIAL ARE CORRECTLY SHOWN. THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE GEORGIA PLAT ACT (O.C.G.A. SECTION 15-6-67).

BY: Swinson
 SWINSON A. GASKINS, Sr. GEORGIA REGISTERED LAND SURVEYOR NO.1620

DATE: 03/03/23

STORM WATER RELOCATION - LOT 2
 A STORM WATER RELOCATION PLAN WILL BE REQUIRED ON LOT 2 FOR A BUILDING PERMIT.

FINAL PLAT APPROVAL
 THIS PLAT CONFORMS WITH THE ZONING REGULATIONS, THE LAND DEVELOPMENT ORDINANCE AND ALL OTHER REGULATIONS GOVERNING THE LAND DEVELOPMENT FOR SENOIA.

CITY ENGINEER _____
 DATE _____
 MAYOR _____
 DATE _____
 CITY ADMINISTRATOR _____
 DATE _____

CLOSURE STATEMENT
 THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 42,167 FEET AND AN ANGULAR ERROR OF 00° 00' 02" PER ANGLE POINT AND HAS BEEN ADJUSTED USING THE COMPASS RULE METHOD.

THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 100,000+ FEET.

ANGULAR & LINEAR MEASUREMENTS WERE OBTAINED USING A LIECA 403 TCR TOTAL STATION

FLOOD STATEMENT
 ACCORDING TO FEMA FLOOD INSURANCE RATE MAP NUMBER 13077C0291D, DATED FEBRUARY 6, 2013, THIS PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA.

Job No. 23-010

Drawn By: R.D.G.	Reviewed By: R.M.B.
Issue Date: 03/03/23	
F.W.P.D.: 02/28/23	
Revisions	Date



Prepared For:
**ADAM WADSWORTH
 AND
 MATTHEW STUDDARD**

354 Seavy Street
 Land Lot 279 Of The 1st Land District
 Coweta County, Georgia

**S.A. GASKINS &
 ASSOCIATES, LLC**
 surveyors planners development consultants
 981 CAMPGROUND ROAD GRIFFIN, GA 30223
 678-571-3054
 rdgaskins79@gmail.com

William "Dub" Pearman, III
Mayor

Harold Simmons
City Manager



STAFF REPORT

TO: Planning Commission
FROM: Curtis Hindman, Interim Community Development Director
DATE: May 10, 2023
RE: Minor Final Plat – 354 Seavy St

This lot was rezoned to RH with minimum 20 foot rear setback on 5/1/2023 by Mayor and Council
Final plat meets city requirements for recording
Creation of two lots zoned RH both will meet the minimum size and setbacks.
Staff recommend approval.