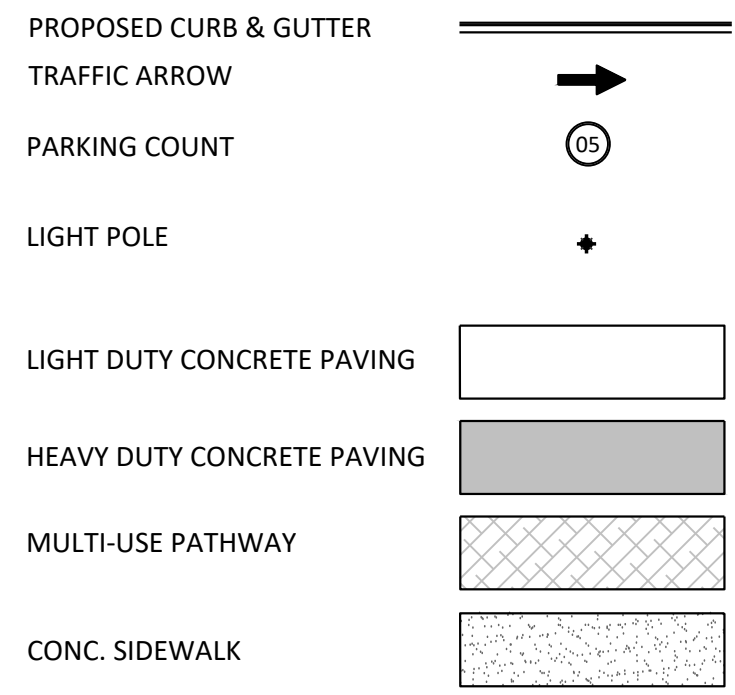


SITE LEGEND



SITE PLAN NOTES:

ALL DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS NOTED OTHERWISE.
 PROPOSED DEVELOPMENT SIGNAGE IS FOR REFERENCE ONLY. A SEPARATE PERMIT SHALL BE REQUIRED FOR ALL SIGNAGE EXCEPT REGULATORY STREET SIGNAGE.



LOCATION MAP
N.T.S.

GENERAL SITE NOTES:

- PART OF PARENT PARCEL NUMBER(S): 163 1247 068 AND 163 1247 069
- PROPERTY ADDRESS: VILLAGE WEST DRIVE, SENOIA, GA 30276
- TOTAL SITE AREA: 2.40 ACRES
- PROPERTY CURRENT ZONING: GC (GENERAL COMMERCIAL)
 MIN LOT AREA: 1.00 AC
 LOT WIDTH: 100 FT (MINOR THOROUGHFARE)
 FRONT YARD SETBACK: 25 FT
 REAR YARD SETBACK: 30 FT
 SIDE YARD SETBACK: 20 FT
 HEIGHT LIMIT: 40 FT
- NO WETLANDS OR STATE WATERS ARE PRESENT ON THIS SITE OR WITHIN 200 FEET OF THIS SITE.
- PROPERTY TO BE SERVED BY THE CITY OF SENOIA WATER AND SEWER DEPARTMENT FOR WATER AND SEWER SERVICE.
- THERE ARE NO EXISTING STRUCTURES OR FEATURES ON THIS SITE.
- EXISTING EASEMENTS ASSOCIATED WITH THIS SITE ARE AS SHOWN.
- STORM WATER DETENTION HAS BEEN PROVIDED BY THE EXISTING DETENTION POND. DESIGNED AND AS-BUILT AS PART OF THE CUMBERLAND WEST OVERALL DEVELOPMENT.

CONSTRUCTION NOTES:

- ALL RADII ARE MEASURED FROM FACE OF CURB
- PARKING LOT / PARKING SPACE / ROADWAY DIMENSIONS ARE MEASURED FROM FACE OF CURB

PARKING CALCULATIONS

- TOTAL REQUIRED PARKING SPACES: 3 HC SPACES & 30 PASSENGER CAR (1 SP / 300 SF)
- TOTAL PARKING SPACES PROVIDED: 62 SPACES (INCLUDES 5 H.C. SPACES, 47 PASSENGER CAR SPACES, AND 10 MDP SPACES)

OPEN SPACE & LANDSCAPE CALCULATIONS

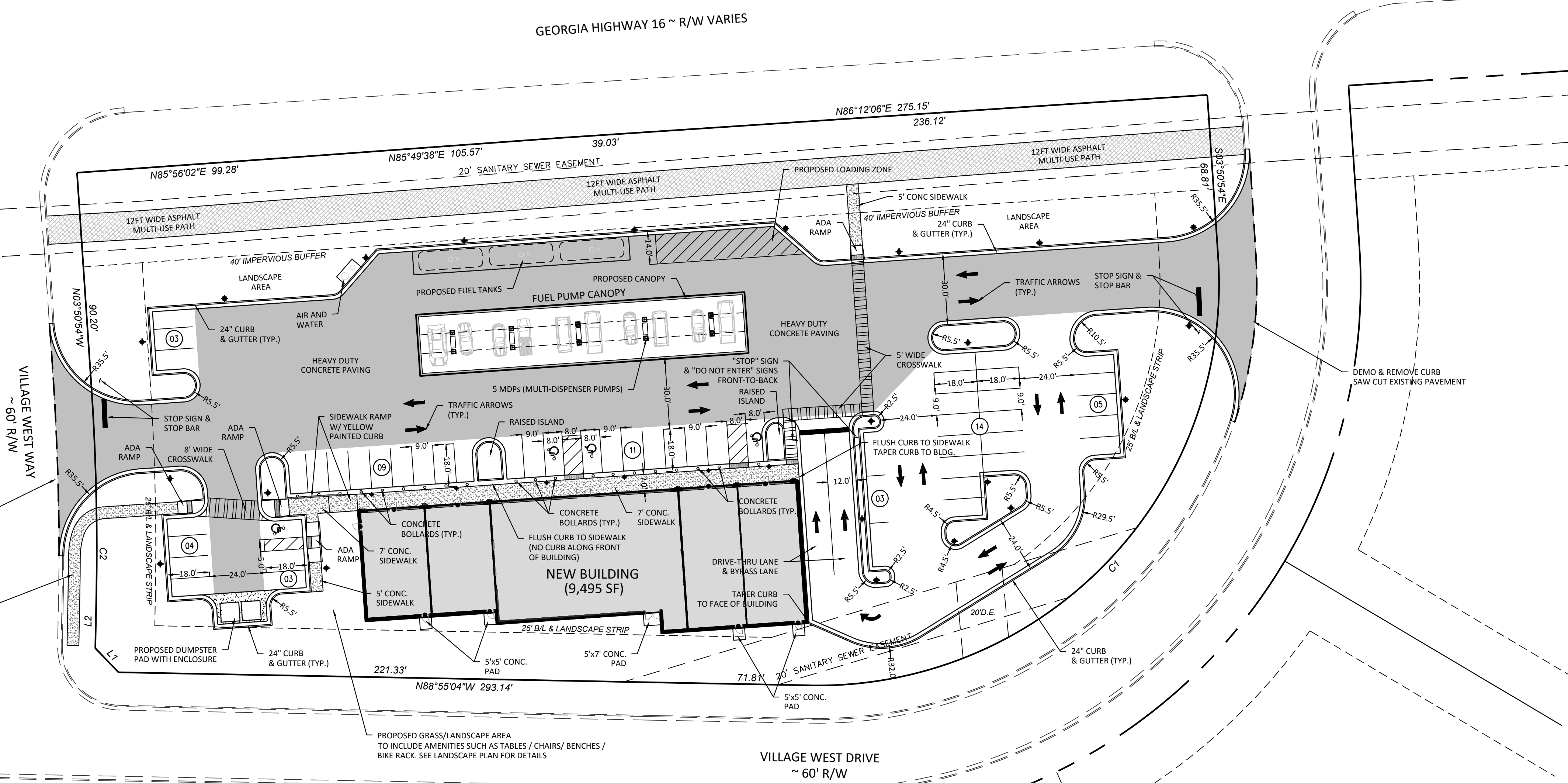
- TOTAL SITE OPEN SPACE / LANDSCAPE AREA: ±45,148 SF (1.04 AC)
- SITE OPEN SPACE / LANDSCAPE AREA PERCENTAGE: (1.04 / 2.40) X 100 = 43.33%

SURVEY AND FEMA FLOOD NOTE:

NO PORTIONS OF THIS PROPERTY LIES WITHIN A SPECIAL FLOOD HAZARD ZONE AS PER THE F.E.M.A FLOOD INSURANCE RATE MAP (FIRM) NO. 1307700287D, WITH EFFECTIVE DATE OF 02/06/2013.
 BOUNDARY INFORMATION WAS TAKEN FROM THE REVISED FINAL PLAT PLAN OF VILLAGE WEST COMMERCIAL PHASE 1, PREPARED BY MCLAIN SURVEYING, INC. DATED 01/16/23.

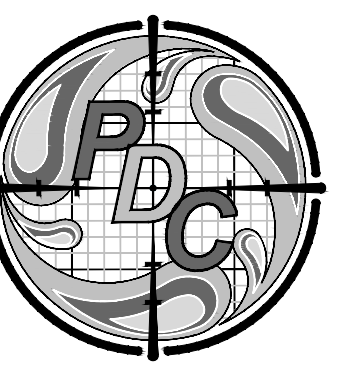
SITE LIGHTING NOTES: (SEE SITE LIGHTING PLAN FOR DETAILS)

- SIGHT LIGHTING SHALL BE PROVIDED ALONG ALL PUBLIC RIGHTS OF WAY UTILIZING DECORATIVE POLES AND FIXTURES. STREETLIGHTS SHALL BE STAGGERED SPACED NO MORE THAN 150 FT ON CENTER ALONG BOTH SIDES OF ROADWAYS.
- LIGHTING IN PARKING LOTS SHALL PROVIDE A MINIMUM ILLUMINATION OF 2.4 FOOT CANDLES AS MEASURED AT GRADE LEVEL.
- ALL BUILDING ENTRANCES, WALKS, AND VEHICULAR ACCESS SHALL BE ILLUMINATED.
- LIGHTING DESIGN STANDARDS SHALL BE CONSISTENT WITH DOWNTOWN CORRIDOR (HWY 16) OVERLAY. LIGHTING SHALL BE NON-INTRUSIVE TO NEIGHBORS. MOTION DETECTORS AND TIMERS ARE ENCOURAGED FOR LOADING AREAS, WHERE ADJACENT TO RESIDENTIAL USES, ILLUMINATION SHALL NOT EXCEED 0.3 FOOT CANDLES AT TEN FEET BEYOND THE PROPERTY LINE.
- FIXTURES SHALL BE PRIMARILY DOWN-FIRING. IF UP-FIRING FIXTURES ARE TO BE USED, THEY MUST BE AIMED AT A WHITE HORIZONTAL REFLECTOR AND PREVENT DARK SKY INTRUSION
- THE LIGHT SOURCE SHOULD NOT BE VISIBLE TO DRIVERS, PEDESTRIANS, OR BICYCLISTS UNLESS THEY ARE DIRECTLY UNDER FIXTURE.
- THE PROPOSED BUILDING WILL HAVE WALL MOUNTED LIGHTS AND THE CANOPY WILL BE LIT.
- SITE LIGHTING SHALL BE AT LEAST TWO SPACES AWAY FROM A TREE ISLAND WHERE POSSIBLE. IF LIGHTING IS PLACED IN AN ISLAND, THE LIGHT SHALL BE PLACED DIRECTLY ADJACENT TO THE PARKING EDGE.



JOB NO. 23-016

SEPTEMBER 29, 2023



PRECISION DESIGN CONSULTANTS

PROJECT INFO.

SCALE: 1" = 30'
 DRAWN BY: D.LEE
 PROJECT MANAGER: D.LEE
 CHECKED BY: D.LEE

LOT 1 @ VILLAGE WEST
 AA SENOIA PROPERTIES, LLC
 LAND LOT 247, DISTRICT 1
 VILLAGE WEST WAY, CITY OF SENOIA
 COWETA COUNTY

DESIGN PROFESSIONAL



GSWCC LEVEL II: 0000083859

RECORD/REVISION

NO.	DATE	DESCRIPTION
11/15/23	LDP	SUBMITTAL

SHEET NAME

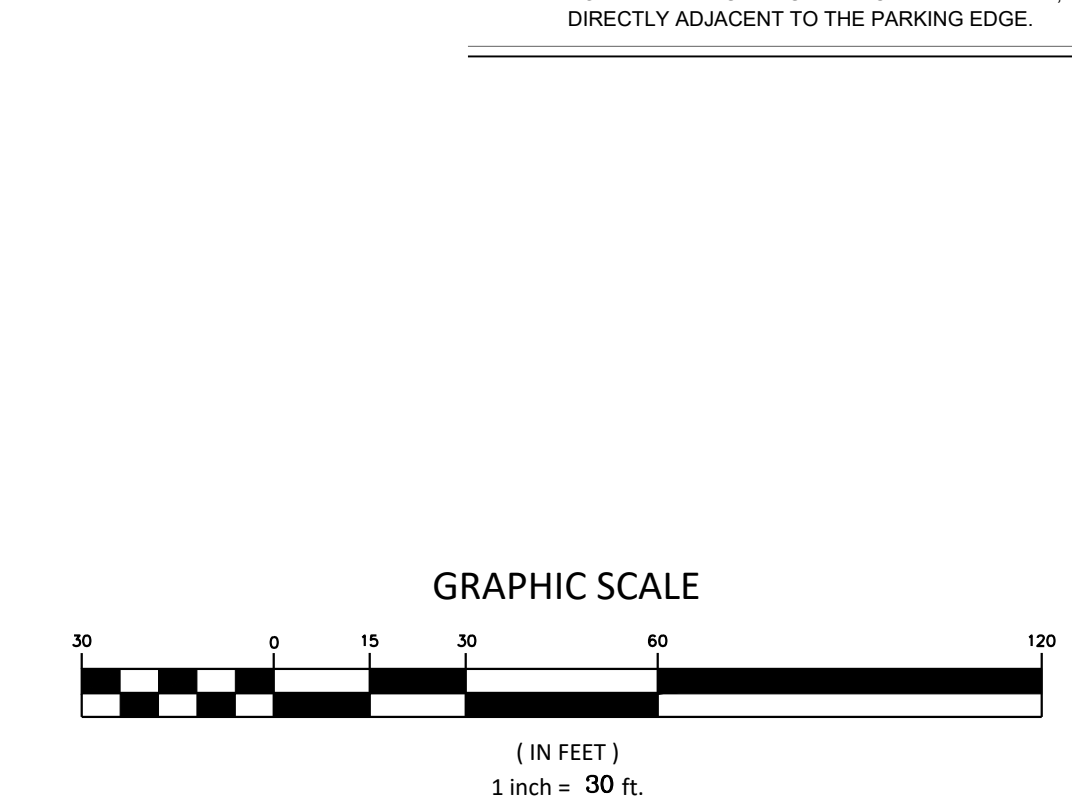
SITE PLAN

SHEET NUMBER

C-300

NOT ISSUED FOR CONSTRUCTION

PRIMARY PERMITTEE RAFIQ FARISHTA A A SENOIA PROPERTIES, LLC 3078 HWY 81 N OXFORD, GA 30054 B47COMPANY@GMAIL.COM (678) 725-8342	DESIGN PROFESSIONAL DYLAN LEE PRECISION DESIGN CONSULTANTS 66 LOTHURD ROAD CLEVELAND, GEORGIA 30528 DLEE@PMB-GA.COM (706) 865-0501	24 HOUR CONTACT RAFIQ FARISHTA B47COMPANY@GMAIL.COM (678) 725-8342
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CALL 811 THREE WORKING DAYS BEFORE YOU DIG